



City of Fitchburg
Planning/zoning Department
5520 Lacy Road
Fitchburg, WI 53711 (608-270-4200)

REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the GIP district to the SIP district the following described property:

1. **Location of Property / Street Address:** Northeast Corner of Fitchrona Rd. & Lacy Rd.

Legal Description - (Metes & Bounds, or Lot No. And Plat):

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin. See attached PDD-SIP submittal.

***Also submit in electronic format (MS WORD or plain text) by email to: planning@city.fitchburg.wi.us

2. **Proposed Use of Property - Explanation of Request:**

Apartment Homes (Multi-Family Residential)

3. **Proposed Development Schedule:** See attached PDD-SIP Submittal

4. **Future Land Use Plan Classification:** High Density Residential (HDR)

***Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

***Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to planning@city.fitchburg.wi.us. Additional information may be requested.

Type of Residential Development (If Applicable): Apartment Homes (Multi-Family Residential)

Total Dwelling Units Proposed: 152

No. Of Parking Stalls: 238 total

Type of Non-residential Development (If Applicable): n/a

Proposed Hours of Operation:

No. Of Employees:

Floor Area:

No. Of Parking Stalls:

Sewer: Municipal ☐

Private ☒

Water: Municipal ☐

Private ☒

Current Owner of Property:

Address:

Phone No:

Contact Person: Craig Raddatz, Fiduciary Real Estate Development, Inc.

Email: craddatz@fred-inc.com

Address: 789 N. Water St. - Suite 200, Milwaukee, WI 53202

Phone No: 414-226-4535

Respectfully Submitted By:

Owner's or Authorized Agent's Signature

Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

For City Use Only: Date Received: 4/21/2015 Publish: _____ and _____

Ordinance Section No. _____ **Fee Paid:** \$825.00

Permit Request No. RZ-2057-15

Susan Badtke

From: Keith Hammersley <keith@hammersleystone.com>
Sent: Monday, April 20, 2015 11:45 AM
To: Susan Badtke
Subject: Authorization for Fiduciary to submit Rezoning request

Hamm Fam land LLC authorizes Fiduciary to submit rezoning request for pdd sip zoning on proposed lot 15 Quarry Vista plat

Thank you,

Keith Hammersley
Hamm Fam Land llc

Keith Hammersley
President

Hammersley Stone Co., Inc.
6291 Lacy Road
Fitchburg, WI 53593

608.845.7804



ELAN APARTMENT
FITCHBURG, WISCONSIN



SPECIFIC IMPLEMENTATION PLAN - AMENDED

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PROJECT TEAM:



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.
789 North Water Street - Suite 200
Milwaukee, Wisconsin 53202
Contact: Craig Raddatz
414.226.4535



D'ONOFRIO, KOTKE, & ASSOCIATES, INC.
7530 Westward Way
Madison, Wisconsin 53717
Contact: Bruce J. Hollar
608.833.7530

PREVIOUS GENERAL IMPLEMENTATION PLANS

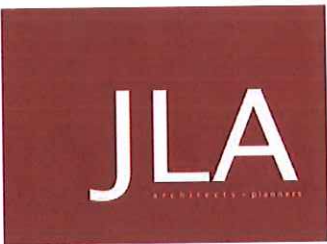
THIS DOCUMENT SHALL SERVE AS THE SPECIFIC IMPLEMENTATION PLAN TO THE PREVIOUS GENERAL DEVELOPMENT PLANS:

- THE QUARRY VISTA APARTMENT HOMES GENERAL IMPLEMENTATION PLAN DATED OCTOBER 21, 2014, AMENDED NOVEMBER 5, 2014, AND APPROVED BY THE FITCHBURG COMMON COUNCIL ON NOVEMBER 25, 2014.

IN ADDITION, THIS DOCUMENT SHALL SERVE AS AN AMENDMENT TO THE SPECIFIC IMPLEMENTATION PLAN DATED APRIL 21, 2015.

THE SUBSTANTIVE & REGULATING TEXT OF THIS SPECIFIC IMPLEMENTATION DOCUMENT IS EXACTLY AS IT APPEARS IN THE GENERAL IMPLEMENTATION PLAN AMENDMENT DATED NOVEMBER 5, 2014. THE DIFFERENCES BETWEEN THIS DOCUMENT AND THE SPECIFIC IMPLEMENTATION PLAN DATED APRIL 21, 2015 ARE HIGHLIGHTED IN YELLOW.

ADDITIONAL INFORMATION SUCH AS MORE DETAILED CIVIL ENGINEERING PLANS, ARCHITECTURAL PLANS, AND LANDSCAPE PLANS ARE CONTAINED IN APPENDIX 'C' OF THIS DOCUMENT.



JLA ARCHITECTS + PLANNERS
2418 Crossroads Drive - Suite 2300
Madison, Wisconsin 53718
Contact: Joseph Lee
608.241.9500

PROJECT LOCATION & GENERAL DESCRIPTION

The Elan Residential Development will be a quality high-density residential community to serve the increased demand for housing in the Fitchburg area over the next five years and beyond. It will be located on a 4.84 acre site at the north east corner of the current intersection of Fitchrona Road and Lacy Road.

- Outlot 9 / Proposed Lot 15 - The 4.84 acre parcel for residential uses of this project.

Surrounding Context

The project site is surrounded by existing residential uses to the immediate north, south, and west with recreational uses further northeast (Quarry Ridge Recreation Area), light industrial uses further north (north of Verona Rd.), and future single family residential use to the immediate east.

Existing Topography & Wetlands

The project site has moderate topographical relief - with about 20 feet of grade drop from the southeast portion of the site to the north and west portion of the site. The northwest portion of the site is the low point of the site.

Existing Vegetation

The project site is adjacent to an existing quarry. The northern and eastern portion of the site currently contains the majority of the site's vegetation – with various trees and underbrush. There are no known landmark or heritage trees on the property. The Quarry Vista developer is delivering a cleared and graded site.

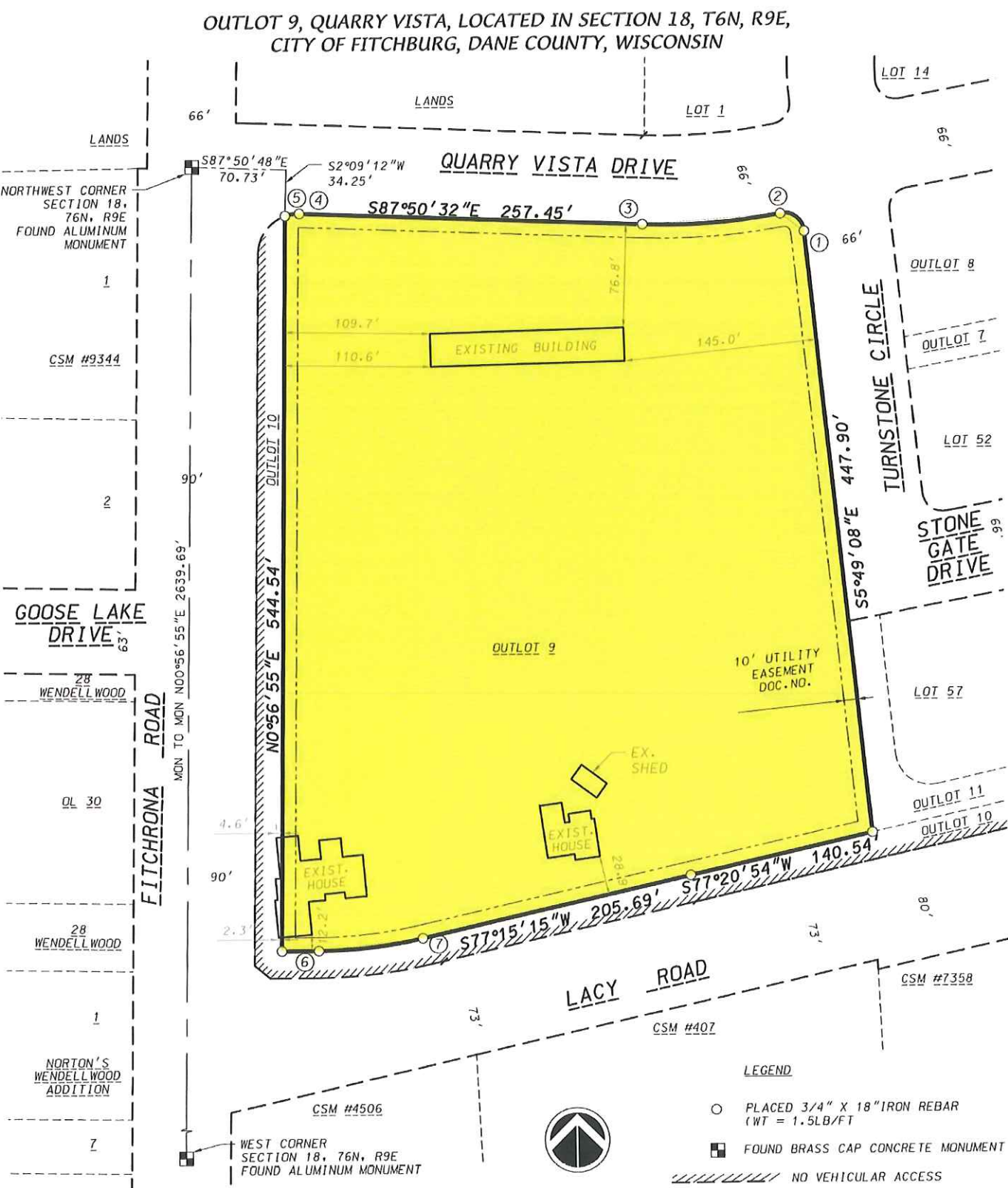


Legal Description – Outlot 9 / Proposed Lot 15 of Quarry Vista Preliminary Plat (Entire Property)

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning.

Containing 210,871 square feet (4.841 acres).



RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

As confirmed by the City Plan Commission at their September 16, 2014 meeting, in which they expressed a "preference for the applicant to use PDD zoning for this project", this project will utilize the City's PD Planned Development District instead of the City's R-H High Density District.

Specifically, in order to accomplish the goals of providing a quality high-density infill development with first class amenities, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (1): Does not allow more than two multiple family dwelling unit structures per lot. We are proposing three multiple family dwelling unit structures on one lot. To make this an integrated, vibrant community, we must have the design flexibility afforded in the PD zoning for the drives, parking lots, and walking connections between buildings.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,000 square feet of lot area per each Efficiency unit, 2,200 square feet of lot area per each 1 bedroom unit, and 2,400 square feet per each 2 bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. We are proposing 10 Efficiencies, 88 One Bedrooms,

and 54 Two Bedrooms and 149 structured parking spaces. This provision would require our proposed lot to be 6.25 acres, based on our proposed 152 units. The City has already approved the lot (via approval of the final plat of Quarry Vista) at 4.84 acres and the maximum units of 156.

- Section 22-146 – Dimensional Standards (2) c: Restricts lot size to a maximum of 90,000 square feet. We are purchasing one developable lot for this project, already approved by the City, with an area of 210,871 square feet or 4.84 acres.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback at 30 feet. In keeping with the City's desire to provide a more urban feel to multi-family residential developments, we propose a minimum 10 foot setback.
- Section 22-146 – Dimensional Standards (6): Sets the minimum street side setback at 25 feet. In keeping with the City's desire to provide a more urban feel to multi-family residential developments, we propose a minimum 10 foot setback.
- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet. We are planning 3-stories of residential over an underground parking structure for each building. Although we have not yet developed the architectural building elevation, given the site topography and the need to work with the land, the maximum building height will likely be exceeded.

ECONOMIC & SOCIAL IMPACTS

We believe that this project will have positive economic & social impacts on the area.

Property Values and Tax Revenue

At total completion, it is estimated that this project would have a total value of approximately \$20,520,000. At this value, using the City's 2013 property tax rate the following tax receipts to the community could be realized annually:

State of Wisconsin:	\$3,500
Dane County:	\$64,000
City of Fitchburg:	\$161,000
Verona School District:	\$217,000
Madison Area Tech. College:	\$38,000
Total Projected Annual Property Tax:	\$483,500

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

Impact Fees

This project should generate the following estimated Impact Fees to the City (2015 fees listed):

Park Improvement Fee	152 units x \$145 =	\$22,040
Fire Protection Fee	98 ST/1BR x \$349 =	\$34,202
	54 2BR x \$473 =	\$25,542
Water Impact Fee:	152 units x \$691 =	\$105,032
Total Projected Impact Fees:		\$186,816

Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality residential community should improve the perceived image of the immediate area.
- The addition of this quality residential community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality residential community could serve as a catalyst for other uses - such as retail & commercial - to locate in the immediate area.
- The addition of this quality residential community could serve as an example for future development - creating higher standards in design & quality.

CONSISTENCY WITH COMPREHENSIVE PLAN

This project complies with the City of Fitchburg's Comprehensive Plan.

Specifically, the following is an analysis of how this project meets or advances the goals, objectives, and policies outlined in the Comprehensive Plan.

Land Use Goal 1:

This project preserves and enhances the natural features of the City as follows:

Objective 1: This project is consistent with the long term urban growth map and related phasing plan.

Policies: (2) This project will be served by gravity flow sanitary sewer
(3) This project is being developed in the urban growth boundary and is not replacing high quality agricultural lands.
(5) This project (growth) is consistent with the neighborhood plan

Objective 2: This project is protecting environmental resources by using high density, sustainable development and revitalization of underutilized land.

Policies: (2) This project is not within or near identified wetlands
(7) This project is not within or near identified floodplains

Land Use Goal 2:

This project is a compact urban community that is visually and functionally distinct from the rural and agricultural community.

Objective 1: This is a project that is a significant reinvestment in the community as a redevelopment of underutilized land.

Policies: (1) This is a redevelopment of a former gravel pit.

Objective 3: This is a compact development that, when incorporated into the entire Quarry Vista development, will have a logical and sustainable mix of uses and building types.

Policies: (1) This project provides needed residential rental units.
(2) This project fits in well with the existing and planned infrastructure and land uses.

Objective 5: Utilities and infrastructure are being extended to this project in an efficient manner.

Policies: (1) This project is within the urban growth area.
(3) This high-density project makes use of the location near Fitchrona Road (3,500 cars per day) and Lacy Road (3,500 cars per day).

Objective 7: This project is within the urban service area.

Policies: (3) This project is within the urban service area.

Objective 8: This project is consistent with the recently amended map – High Density Residential.

Policies: (1) PDD zoning is consistent with the High Density Residential land use designation.

Natural Resources Goal 1:

This project will protect the natural environment.

Objective 3: This project will protect natural resources

Policies: (1) This project will meet all current City stormwater control requirements.

- (2) This project will meet all current City erosion control requirements.
- (3) This project will meet all current Floodplain and Wetland ordinances. There are no floodplains or wetlands within the project boundary.
- (5) This project is not developed on private septic.
- (7) This project features stormwater infiltration.

Housing Goal 1:

This project will provide a much in-demand housing choice: Market-rate rental units.

Objective 1: After engaging nationally recognized residential experts Tracy Cross and Associates of Schaumburg, IL to perform a market study of alternative uses, they proposed a first class apartment home community. The three stories over underground parking, with 44 to 56 unit buildings, feature average residences of 929 square feet and average rent of \$1,150 per month. This market study and our business experiences of 25 years owning in excess of 4,000 apartment residences have determined this will be highly demanded, bring quality residents and a benefit to the City of Fitchburg.

- Policies:
- (1) This project is an efficient use of land in the urban service area and provides for multi-modal friendly densities.
 - (2) This project adds variety to the Quarry Vista neighborhood
 - (4) This project will meet the demand of new employees within the Fitchburg/Verona area which is experiencing a significant influx of \$45,000 to \$80,000 per year jobs.

Housing Goal 2:

This project makes efficient use of land for housing.

Objective 1: This project is a compact neighborhood.

- Policies:
- (1) This project is efficient to serve and this preserves rural land resources.
 - (2) In order to provide a variety of housing units, we will be offering studio, one-bedroom, and two-bedroom units.
 - (4) This infill project makes wise use of land in the current urban service area, where service provisions already occur.
 - (5) We are proposing higher but livable residential density, which promotes wise use of the land resource and reduces land located elsewhere required to meet housing demand. This helps to preserve agricultural and other open space land outside the urban service area.
 - (6) By utilizing the PDD design review process, the City will be allowed to ensure sound sustainable housing design.

Objective 2: This residential development is occurring in an area with existing infrastructure and sewer.

- Policies:
- (1) This residential housing project is located in an area served by full urban services, including sanitary sewers and public water within convenient access to community facilities, employment centers, and to arterial highways.
 - (2) This project is not an unsewered subdivision.

Utilities Goal 2:

Existing urban services will be extended within the urban development boundary area as part of this project.

Objective 1: This project will improve the condition of the existing sanitary sewer and water infrastructure.

- Policies:
- (2) As part of the Quarry Vista development, both Lacy Road and Fitchrona Roads will have segments improved, including the addition of paved bike paths.

(4) Our entire project will be served with gravity flow sanitary sewer.

Objective 2: This project is being developed within the existing urban service area and adjacent to existing public infrastructure.

Policies: (1) Utilities will not be extended across substantial vacant land.
(2) Water and sewer will be extended concurrently with new streets.
(3) Utilities will not be placed in wetlands or other environmentally sensitive areas.

Transportation Goal 1:

This project is part of a coordinated land use and transportation system.

Objective 1: This project is a compact, urban development.

Policies: (1) This project features buildings closer to the sidewalks, street trees, street lighting, lower parking ratios, structured parking, and parking behind buildings.

Objective 3: In conjunction with this project, the City has been coordinating with the Town of Verona on the roadway connections to Fitchrona Road.

Policies: (2) The Quarry Vista project is dedicating appropriate road right-of-way for both Fitchrona and Lacy Roads.

Transportation Goal 2:

In conjunction with this project, a safe and efficient transportation system will be provided for the Quarry Vista neighborhood.

Objective 1: In conjunction with this project, the overall safety of the transportation system in the North Fish Hatchery Road corridor will be improved.

Objective 2: In conjunction with this project, proper traffic management and travel time reliability will be improved in the Quarry Vista neighborhood.

Policies: (2) The pattern of streets and sidewalks in the project area will maximize the connectivity of land uses within the neighborhood and to areas outside the neighborhood.
(6) This project will not have direct access to either Fitchrona or Lacy Roads.
(7) This project will not have direct access to either Fitchrona or Lacy Roads.

LAND USE

When complete, this project will contain multi-family residential uses.

Outlot 9 / Proposed Lot 15 Land Use

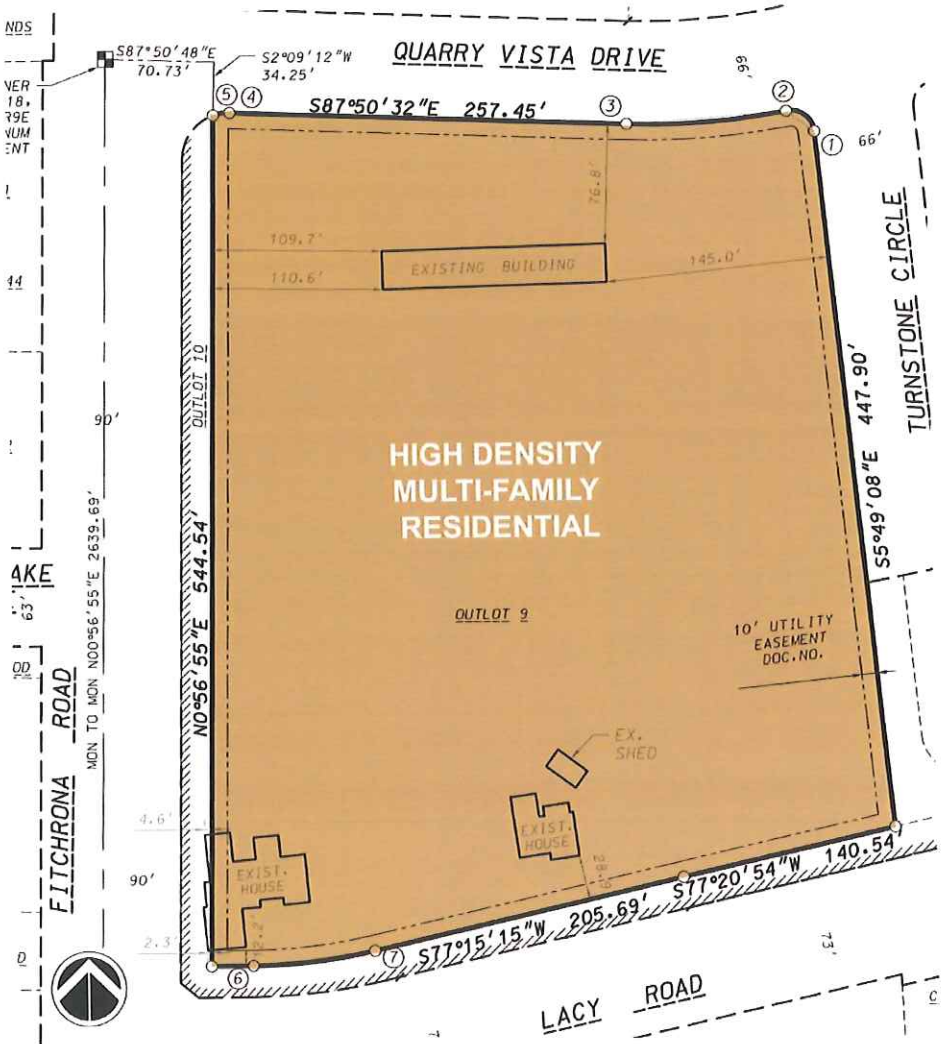
This 4.84 acre parcel will be consistent with the City's Comprehensive Plan with a High Density Multi-Family Residential Use. It will have 152 residential apartment units along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

- Studio Units: 6%
- 1 or 1 Bedroom+Den Units: 58%
- 2 or 2 Bedroom+Den Units: 36%

Within each unit type there will be a variety of unit sizes - with an average unit size of approximately 929 square feet. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, Outlot 9 / Proposed Lot 15 will contain various common space amenities integrated within the buildings or around the site. At the time of this Specific Implementation Plan, the anticipated common amenities are:

- Pool with sundeck
- Business Center
- Fitness Center
- Clubroom with Kitchenette
- Walking Paths with Dog Stations
- Other Green and/or Open Space for passive and active activities



SITE DESIGN & ZONING STANDARDS

The Masterplan of Outlot 9 / Proposed Lot 15 has been thoughtfully designed to address numerous site challenges including the existing topography, storm water management, and project identity. See Appendix 'C' for the Specific Implementation Plan.

Masterplan Design Highlights:

- To work with the existing topography of the site, building pads are kept higher along the east property line, and lower along the west property line (Fitchrona Road) - stepping down to the west.
- Storm Water Management Facilities are located to allow storm water to be collected on site.
- The buildings are located & orientated to address the street edge and to help define the public realm.
- Surface parking is kept to the interior of the site to reduce its visual impact from the public streets.
- Incorporating the storm water management pond as an amenity adjacent to the project's other common space amenities help give the project a distinct entry & identity.
- Pedestrian pathways not only connect the site internally, but also connect the project site with adjacent parcels.

Off Street Parking:

The City's typical parking requirements require two parking stalls per residential dwelling unit. Based on our extensive experience in owning & managing large multi-family communities, and considering the above-mentioned unit mix, we find that this requirement would be excessive. Therefore, we are proposing a total of 1.5 parking stalls per dwelling unit - with each one and two bedroom unit having one parking stall within the underground parking structure. We believe that providing this level of parking will be appropriate for this project, will allow the site to have less impervious area, and will minimize the visual impact of surface parking lots on the site and the surrounding areas.



Bicycle Parking:

In addition to off street vehicular parking, we are proposing a total of 1.0 bicycle parking stalls per dwelling unit. Exterior stalls are located with proximity to each building's main entrance for easy access, while interior bike hooks are proposed above each Lower Level parking stall.

BUILDING		BICYCLE PARKING				
NAME	UNITS	COVERED	SURFACE	TOTAL	RATIO	
A1	44	44	5	49	1.11	PER UNIT
B1	52	52	5	57	1.10	PER UNIT
B2	56	53	5	58	1.04	PER UNIT
TOTALS	152	149	15	164	1.08	PER UNIT

Storm Water Management Overview:

The following items are highlights of the Storm Water Management Design for the project:

- Storm water management will address peak control, water quality and infiltration.
- Peak control and water quality control from the dirty parking lots will occur within the wet portion of the detention pond.
- The development will take advantage of the native sandy soils and provide infiltration in a basin adjacent to the wet detention. All clean rooftop runoff from the buildings will be directed into the infiltration area that will be restored with native prairie plantings.
- All storm water management measures will meet or exceed the City of Fitchburg's ordinance requirements.
- The maintenance of all storm water management measures within Outlot 9 / Proposed Lot 15 will be the responsibility of the property Owner.

Landscape Design:

The new landscape design for Outlot 9 / Proposed Lot 15 of this project will meet all City of Fitchburg landscape design requirements. Please see Appendix 'C' for the Specific Implementation Landscape Plans for Outlot 9 / Proposed Lot 15. This plan will be further developed and additional detail and information will be provided with the subsequent Specific Implementation Plan submittals.

Open Space & Recreational Space:

Each building in the Masterplan of Outlot 9 / Proposed Lot 15 is designed with adjacent open space for passive, flexible recreation. Additionally, the upper and lower surface parking lots are separated by a central green space.

Refuse & Recycling Storage & Removal:

Each building within the development will have refuse & recycling rooms within the buildings themselves located on the Lower Level near the overheard door entrance. A private waste management company will be

contracted with to provide recycling & refuse removal services as appropriate for the development.

Planned Development Zoning Standards

Under the proposed Planned Development Zoning, Outlot 9 / Proposed Lot 15 shall meet the following Zoning Standards:

- Residential Density: 32 units per acre (maximum)
- Building Height: Maximum of 3 Stories over Parking and Maximum 60 feet (to highest roof ridge)
- Street Setback: 10' (minimum), 15' (minimum at Fitchrona Rd.) Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Yard Setback: 10' (minimum)
- Rear Yard Setback: 10' (minimum)
- Building Coverage: 32% of Parcel Area (maximum)
- Floor Area Ratio: 1.00 (maximum)
- Impervious Surface Ratio: 60% of Parcel Area (maximum)
- Off-Street Auto Parking: 1.5 (min), 1.75 (max.) Total Spaces per Dwelling Unit 0.9 Structured Spaces per Dwelling Unit (min.)
- Off-Street Bicycle Parking: 1.0 Bike Spaces per Dwelling Unit (min.)

Specific Implementation Plan Data

At the time of this Specific Implementation Plan, the Outlot 9 / Proposed Lot 15 Masterplan Data is as follows. The exact data (below) is subject to change slightly as the project's design is further developed; however, the final data shall meet all Specific Implementation Plan Zoning Standards (above).

ELAN - SPECIFIC IMPLEMENTATION PLAN DATA								
BUILDING					PARKING			
NAME	USE	FOOTPRINT	FLOOR AREA	UNITS	COVERED	SURFACE	TOTAL	RATIO
A1	Multi-Family Residential	18,179 S.F.	51,393 S.F.	44	44	26	70	1.59 PER UNIT
B1	Multi-Family Residential	22,079 S.F.	62,247 S.F.	52	52	32	84	1.62 PER UNIT
B2	Multi-Family Residential	22,063 S.F.	62,247 S.F.	56	53	31	84	1.50 PER UNIT
TOTALS		62,321 S.F.	175,887 S.F.	152	149	89	238	1.57 PER UNIT

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	31.40 Units/Acre	152 Units / 4.84 AC. = 31.40
BUILDING COVERAGE	29.6% of Parcel	62,321 S.F. / 210,871 S.F. = 29.6%
FLOOR AREA RATIO	83.4% of Parcel	175,887 S.F. / 210,871 S.F. = 83.4%
IMPERVIOUS SURFACE	57.1% of Parcel	120,350 S.F. / 210,871 S.F. = 57.1%
LANDSCAPE AREA	42.9% of Parcel	90,521 S.F. / 210,871 S.F. = 42.9%

MASTER SIGN PROGRAM

In addition to address signage which will be mounted on each respective building, the permanent exterior signage for the project will consist of three (3) exterior signs that total 127.9 square feet of signage area at project completion. During the construction of the project, there will be four (4) temporary signs used. The location and design of these signs are specifically illustrated in Appendix 'D' – Master Sign Program. In summary, they will be made up of the following:

- 1.) One (1) Auxiliary Sign to provide direction to & from the Leasing Office will be located at the north end of the parking lot. This sign will have a signage area of 6 square feet. Please note that this square footage does not include the mounting posts below the sign areas (See Directional Sign D in Appendix 'D').
- 2.) One (1) Monument Sign will be located at the southeast intersection of Quarry Vista Drive at Fitchrona Road. This sign will be 72 square feet. (See Location A Sign in Appendix 'D').
- 3.) One (1) Monument Sign will be located at the northwest corner of the Building 'B1' along Quarry Vista Drive. This sign will be 48.9 square feet (See Location C Sign in Appendix 'D').
- 4.) Also note that Locations A, B, C, and D will host temporary leasing and directional signs, which will be removed by project completion. (See Appendix 'D').

ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would be otherwise be required under the City's High Density Residential Zoning.

Less Impervious Surface Area

The Parking Standards for PDD Zoning allow the Plan Commission to approve greater flexibility in the amount of vehicular parking that must be provided on site. In our Development Team's experience, the parking requirements of the City's High Density Residential Zoning District are excessive for this project - and would result in more impervious surface area across the site than what our plan proposes. Utilizing PDD Zoning for this project will decrease run-off and allow additional landscaped areas.

Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm. This also provides additional land area behind the buildings - so surface parking can be kept to the interior of the site and reduce its visual impact on the public streets.

ORGANIZATIONAL STRUCTURE

This project will be professionally owned and managed by an entity controlled by Fiduciary Real Estate Development, Inc.

At Fiduciary, we have a long track-record of successful property development & management throughout Wisconsin - including Fitchburg. We take pride in our great reputation, and the relationships we have with our employees, our residents, and the communities in which we are located.

Supervision

We have the most experienced, well-trained supervisory employees.

- We have Corporate reviews for each property on a bi-monthly basis – and are updated daily on emergency maintenance issues.
- Each Regional Supervisor oversees 3 to 5 properties and visits each property at least once per week. This keeps them in touch with their properties and holds each on-site Property Manager accountable.
- Each on-site Property Manager conducts a daily staff meeting and is the key contact person for each property.
- We maintain continual maintenance personnel communication so we are on top of all existing or potential maintenance issues.
- We implement thorough bi-monthly property inspections for each property.

Training

We implement a proven training program for our employees to make sure everyone knows their role and performs their responsibilities as expected.

- We maintain a 300-page manual for property management. It is a 'living document' that is updated at semi-annual manager meetings.
- We employ onsite training by both Regional supervisor and property managers.

Applicant Screening

To help ensure that we are attracting quality residents, we obtain the following information from prospective residents:

- Criminal background checks
- Credit checks
- Recommendations/Referrals of previous landlords
- Income qualifications & verifications

Track-Record of Success

We have a long track-record of successful property development & management. The key to our long-term success of multi-family residential communities is the continual reinvestment in the properties. We continually evaluate the need to upgrade & improve our properties - to maintain them as highly desirable communities that attract quality residents. For example, in the past five years at our Valley View Apartment project in Fitchburg, we have spent \$1,400,000 on roofing, siding, pool improvements, a Wi-Fi Café, and a Fitness Center. This year we are working on upgrading individual units and common area carpets.

According to Kathy Nettesheim, Vice President of Property Management, another key to success is having excellent relationships with the communities in which we are located. We have found that the City of Fitchburg is one of the best communities that we work with – our communication is often and thorough.

PROJECT IMPLEMENTATION

At the time of this Specific Implementation Plan, we are working with the Department of Public Works to determine the specific timeline for public improvements for this project. Quarry Vista subdivision improvements, including the Fitchrona Road water main, are expected for completion by Summer 2015.

The construction of the apartment buildings is anticipated to follow the following schedule in one single phase with completion in Fall 2016:

<u>Phase</u>	<u>Buildings</u>	<u>Schedule</u>
Phase 1	'B1'	(anticipated for Summer 2015)
Phase 1	'B2'	(anticipated for Summer 2015)
Phase 1	'A1'	(anticipated for Fall 2015)

However, the residential market demand will ultimately drive the overall schedule and could speed-up or slow down the timeline for full build-out.

NEIGHBORHOOD INPUT

On October 3, 2014, we mailed out a letter and an area map (an example of each is attached in Appendix 'E') to all owners of property within 300 feet of our project. The letter invited comment, as well as attendance, at a meeting held at the Hammersley Stone Offices on Tuesday, October 14, 2014 at 5:30 PM. At this meeting, we had nine people representing the neighboring properties (see the meeting sign-in sheet in Appendix 'E'). We provided a brief overview of our project and answered questions.

APPENDIX 'A'
ALTA SURVEY & AERIAL CSM

SURVEYOR'S CERTIFICATE

TO: Fiduciary Real Estate Development, Inc.
Knight Barry Title Group

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA and NSPS, and includes items 1, 4, 8, & 11(a) Table A thereof. The field work was completed on May 29, 2014.

Dated this 6th day of June, 2014

Brett T. Stoffregen
Brett T. Stoffregen, Registered Land Surveyor S-2742



NOTES

- This survey was performed over Outlot 9 of the proposed Quarry Vista plat.
- Surveyed for: Fiduciary Real Estate Development
789 North Water Street, Suite 200
Milwaukee, WI 53202

LEGAL DESCRIPTION

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:
Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210.871 square feet (4.841 acres).

TITLE COMMITMENT

Disposition of Exceptions Identified in Schedule B - Part II
Commitment for Title Insurance
Issued by Knight Barry Title Group
Commitment date May 15, 2014
Title Insurance File No. 0715910

EXCEPTION:

- 1-11, 19, 20 & 21. These items are statements, standard exceptions or financial matters which cannot be plotted on this survey.
12. Easements, restrictions and other matters shown on Certified Survey Map No. 11159 recorded August 26, 2004 as Document No. 3959694.
Notes on CSM: 1. No other permit or approval is waived or deemed satisfied except for the approval herein provided.
2. House on Lot 1 is nonconforming as to the side street (Fitchrona Road) setback in the R-1 District.
-Affect subject parcel, not plottable.
13. Order Establishing Utility District recorded February 28, 1969, as Document No. 1235025.
-Affects subject parcel, not plottable.
14. Notice Affecting Real Estate situated within the Town of Fitchburg dated September 21, 1978 and recorded September 21, 1978 in the Office of the Register of Deeds for Dane County in Volume 996 of Records, page 8 as Document No. 1592785.
-Affects subject parcel, not plottable.
15. Notice Affecting Real Estate situated within the Town of Fitchburg dated September 21, 1978 and recorded September 25, 1978 in the Office of the Register of Deeds for Dane County in Volume 996 of Records, page 652 as Document No. 1593197.
-Affects subject parcel, not plottable.
16. Ordinance recorded on August 8, 1969 as Document No. 1247637.
-Affects subject parcel, not plottable.
17. Resolution and Order Altering the Boundary Lines of Fitchburg Utility District No. 1, recorded in Volume 27371 of Records, page 43 as Document No. 2599374.
-Located on land east of the subject parcel.
18. Individual Conveyance of Easement recorded on April 16, 2002 as Document No. 3475850.
-Is not located on subject parcel. Located within the current Fitchrona Road right-of-way.
19. Mortgage from Hamm Fam Land, LLC to Independent Bank in the amount of \$300,000.00 dated December 8, 2004 and recorded December 13, 2004 as Document No. 4000303. (Lots 2 and 3 CSM 11159).
20. Assignment of Rents from Hamm Fam Land, LLC to Independent Bank recorded December 13, 2004 as Document No. 4000304. (Lots 2 and 3 CSM 11159).
21. Mortgage from Nathan Hammersley and Jane Hornbrook to Mortgage Electronic Registration Systems, Inc. acting solely as a nominee for Lender, Countrywide Bank, FSB, and its successors and assigns, in the amount of \$188,000.00 dated January 23, 2006 and recorded January 29, 2006 as Document No. 4392314.
The mortgage described above was assigned of record to Federal National Mortgage Association by an instrument recorded November 1, 2012 in Document No. 4928653.

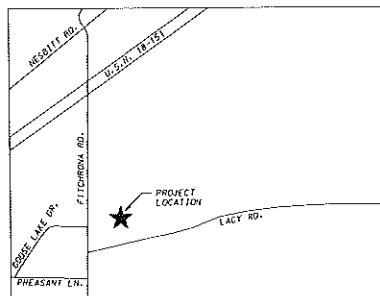
LEGEND

- FOUND PLSS MONUMENT
- FOUND 1" IRON PIPE
- FOUND 3/4" IRON REBAR
- SANITARY SEWER
- GAS MAIN
- OVERHEAD ELECTRIC
- TELEPHONE PEDESTAL
- MANHOLE
- POWER POLE W/LIGHT
- POWER POLE
- GUY WIRE
- VALVE
- MONITORING WELL
- FENCE
- CONC. CURB
- CONCRETE

GOOSE LAKE
DRIVE

FITCHRONA ROAD

LACY ROAD



ALTA/ACSM LAND TITLE SURVEY

PART OF LOTS 1, 2, AND 3, CERTIFIED SURVEY MAP NO. 11159

LOCATED IN THE NW1/4 OF THE NW1/4 OF SECTION 18, T6N, 9E,
CITY OF FITCHBURG, DANE COUNTY, WISCONSIN



GRID NORTH WISCONSIN COUNTY
COORDINATE SYSTEM (GANE ZONE)
THE NORTH LINE OF THE NW1/4 OF
SECTION 18, T6N, 9E BEARS
S87°50'48"E

SCALE: 1" = 40'

DATE: 06-06-14
REVISED: 06-11-14

DRAWN BY: KRG

FN: 14-03-104

Sheet Number:
1 of 1

D'ONOFRIO KOTIKE AND ASSOCIATES, INC.

7550 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089

YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

APPENDIX 'B'
GENERAL DEVELOPMENT PLAN RECORDING

**Planned Development District
Granting General Implementation Plan
Zoning for Portion of Quarry Vista Plat,
Part of Lots 1, 2 and 3 CSM 11159**



**KRISTI CHLEBOWSKI
DANE COUNTY
REGISTER OF DEEDS**

**DOCUMENT #
5118141
12/18/2014 11:37 AM
Trans. Fee:
Exempt #:
Rec. Fee: 30.00
Pages: 5**

Legal Description:

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210,871 square feet (4.841 acres).

Plan Commission
Initiated By

Susan B. Badtke
Drafted By

11/4/2014
Date

**ORDINANCE NO. 2014-O-37
ZONING ORDINANCE AMENDMENT
GRANTING GENERAL IMPLEMENTATION PLAN ZONING
FOR PORTION of QUARRY VISTA PLAT, PART of LOTS 1, 2 & 3 CSM 11159**

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

Ordinance 2014-O-37
Page 2 of 5

WHEREAS, Fiduciary Real Estate Development, Inc. has submitted an application (RZ-2043-14) for Planned Development District General Implementation Plan (PDD-GIP) zoning for part of lots 1, 2 and 3 CSM 11159, and

WHEREAS, the Plan Commission has reviewed, after public hearing on November 18, 2014, the application in accord with ordinance standards and recommends approval of PDD-GIP zoning for part of lots 1, 2 and 3 CSM 11159, with the area more particularly described in Exhibit A.

NOW THEREFORE the City Council of the City of Fitchburg, Dane County, Wisconsin does ordain as follows:

(A) PDD-GIP zoning is hereby granted for part of lots 1, 2 and 3 CSM 11159 as particularly described in Exhibit A, and in accord with submitted plans and information which accompanied the rezoning application in a report titled "Quarry Vista Apartment Homes General Implementation Plan – Amended November 5, 2014" received on November 4, 2014. The documents referred to above are hereby made a part of this ordinance, and with the following additional requirements:

1. Approval and recording of a land division will be required prior to SIP issuance.
2. Recording of a Subdivision Improvement Agreement.
3. Necessary public improvement shall be installed and accepted prior to any building construction, unless approvals are granted to allow early start under section 24-14(b) – (e). (An operable public water supply is one necessary condition under section 24.14.)
4. Park requirements and fees shall be calculated and handled with land division approval.
5. Signage shall be handled during the PDD-SIP (Planned Development District – Specific Implementation Plan) zoning.
6. Project is approved for 152 dwelling units in 3 structures.
7. Zoning standards shall follow those outlined in the report titled "Quarry Vista Apartment Homes General Implementation Plan – Amended November 5, 2014".

(B) This ordinance shall take effect following its publication, the consent of the property owner, or the recording of a plat, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-GIP zoning to be in effect.

(C) Applicant shall pay cost of ordinance publication to avoid a two Council meeting approval process.

(D) Approval of preliminary and final plats by the Common Council.

The above and foregoing ordinance was duly adopted by the City Council of the City of Fitchburg, at a regular meeting held on the 25th day of November, 2014.

Patti Anderson
Patti Anderson, City Clerk

Approved: 12-2-14

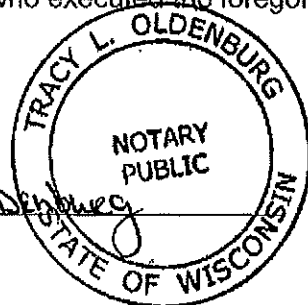
Shawn Pfaff
Shawn Pfaff, Mayor

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 2nd day of December, 2014, the above named Patti Anderson, and Shawn Pfaff to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

Tracy L. Oldenburg
Notary Public, State of Wisconsin

Printed Name of Notary Public Tracy L. Oldenburg
My Commission Expires: Dec 18, 2016



Consent of the Property Owner

Name: Keith E. Hammersley
Title: Managing Member

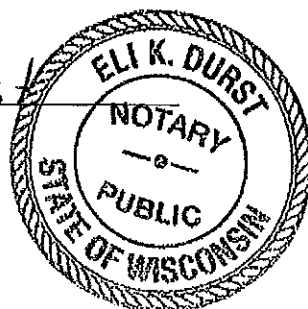
Date: 12/08/2014

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 8 day of December, 2014, the above named Keith E. Hammersley to me known to be Member, of Hamm Farm Land LLC and the person who executed the foregoing instrument and acknowledged the same.

Eli K. Durst
Notary Public, State of Wisconsin

Printed Name of Notary Public Eli K. Durst
My Commission Expires: 12/18/16



Consent of Mortgage Holder:

Oak Bank
By Mary B. Schuchardt Date: 12-8-14
Mortgage Holder, Senior Vice President
Mary B. Schuchardt, Senior Vice President

STATE OF WISCONSIN)ss.
COUNTY OF DANE

Personally came before me this 8 day of December, 2014, the above named

Mary B. Schuchardt to me known to be the Senior Vice President of Oak Bank and the person who executed the foregoing instrument and acknowledged the same.

Carol Van Pee
Notary Public, State of Wisconsin

Printed Name of Notary Public Carol Van Pee
My Commission Expires: 3-13-16

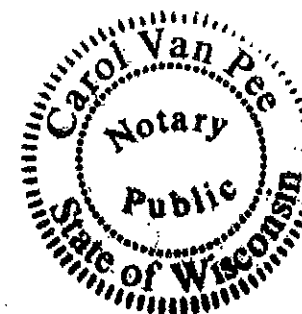


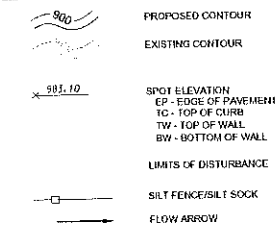
Exhibit A—Legal Description

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APPENDIX 'C'
SPECIFIC IMPLEMENTATION PLAN

LEGEND



GENERAL NOTES:

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CITY OF FITCHBURG STANDARDS.
2. CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY AND ALL PERMITS REQUIRED.
3. BUILDING CORNERS ARE APPROXIMATE AND FOR GENERAL BUILDING FOOTPRINT ONLY.
4. IF ANY ERRORS, DISCREPANCIES OR DIMENSIONS WITH PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS AWAY FROM BUILDING FOUNDATION AND OFFSITE DURING FINAL RESTORATION.

SITE GRADING AND EROSION CONTROL NOTES:

1. ALL SITE GRADING AND EROSION CONTROL SHALL CONFORM WITH THE CITY OF FITCHBURG EROSION CONTROL ORDINANCE, CHAPTER 30 AND ANY ADDENDUMS ISSUED PRIOR TO THE CONTRACT BID DATE.
2. STONE TRACKING PADS AND SILT FENCE SHALL BE INSTALLED AT THE START OF SITE GRADING AND MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED. ALL INLETS ON-SITE AND ON STREETS THAT ARE ADJACENT TO THE WORK AREA SHALL RECEIVE TYPE D INLET FILTER BAGS PRIOR TO SITE DISTURBANCE AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. DISTURBED AREAS WITHIN THE CITY ROW SHALL BE RESTORED WITH SEED, FERTILIZER AND MULCH IN ACCORDANCE WITH THE CITY SPECIFICATIONS. ALL DISTURBED AREAS ON SITE SHALL BE RESTORED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ANY DISTURBED SLOPES 4:1 OR STEEPER SHALL BE RESTORED WITH CLASS 1 TYPE A EROSION MATTING WITHIN 48 HRS OF FINAL TOPSOIL PLACEMENT ON THE BANKS. EROSION MATTING TO EXTEND 1-FOOT BELOW PERMANENT WATER ELEVATION IN THE DETENTION POND.
4. EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR UNTIL THE SITE HAS BEEN STABILIZED. EROSION MEASURES AS LISTED SHALL BE THE MINIMUM MEASURES THAT WILL BE ACCEPTABLE.
5. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION MEASURES AS REQUESTED IN WRITING BY THE PROJECT SUPERINTENDENT OR THE CITY OF FITCHBURG WITHIN 24 HOURS OF NOTIFICATION.
6. ONCE THE SITE HAS UNDERGONE FINAL RESTORATION AND VEGETATION HAS ESTABLISHED, THE SILT FENCE SHALL BE REMOVED AND IF NECESSARY, RESTORED WITH FERTILIZER, SEED AND MULCH. ALTERNATIVELY, IF VEGETATION HAS NOT ESTABLISHED, EROSION MATTING MUST BE PLACED ON ALL DISTURBED AREAS THAT MAY DRAIN TOWARD THE SILT FENCE.
7. SITE INSPECTIONS SHALL BE COMPLETED ON A WEEKLY BASIS OR AFTER EVERY RAINFALL OF AT LEAST 0.5 INCHES. ALL NECESSARY REPAIRS MUST BE COMPLETED WITHIN 24 HOURS OF NOTIFICATION.
8. ALL INCIDENTAL MUD TRACKING OFF-SITE ONTO ADJACENT PUBLIC THOROUGHFARES SHALL BE CLEANED UP AND REMOVED BY THE END OF EACH WORKING DAY USING PROPER DISPOSAL METHODS.
9. PREVENT EXCESSIVE DUST FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.
10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
11. DEWATERING, IF APPLICABLE SHALL BE CONDUCTED PER WDMR STORMWATER MANAGEMENT TECHNICAL STANDARD 1061.

PROPOSED STONE CONSTRUCTION ENTRANCE

GRADE AREA TO DRAIN AWAY FROM BUILDING (TYP.)

LIMITS OF DISTURBANCE = 211,950 SQFT

LIMITS OF DISTURBANCE (TYP.)

PROPERTY LINE

SILT FENCE (TYP.)

ELAN APARTMENTS

GRADING AND EROSION CONTROL PLAN

FITCHBURG, WISCONSIN



DATE: 04-01-15
REVISED:

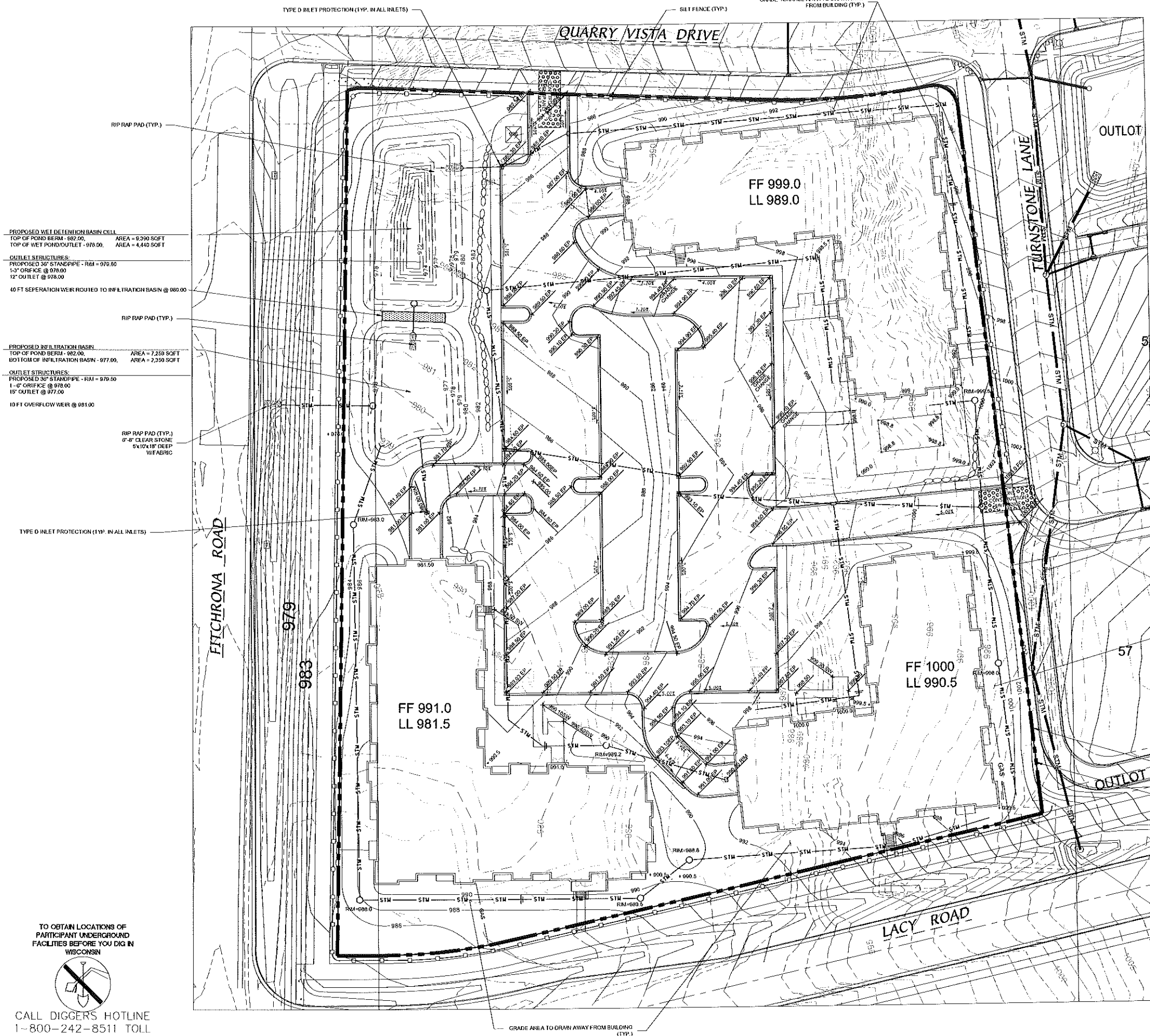
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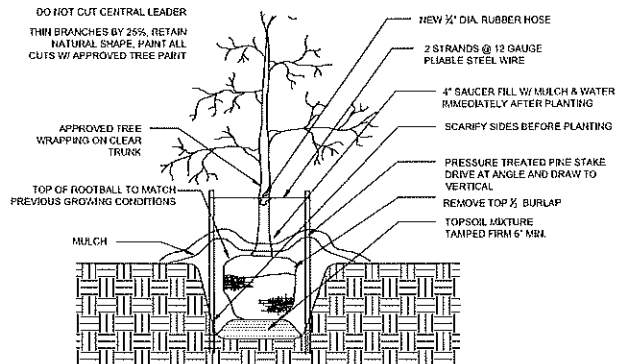
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Sheet Number:

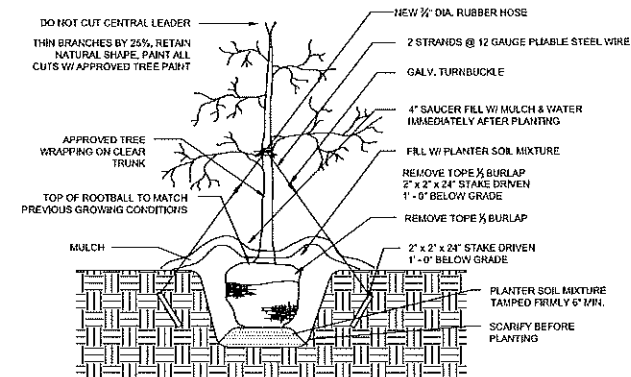
C200

D'ONOFRIO KOTKE AND ASSOCIATES, INC.
7530 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

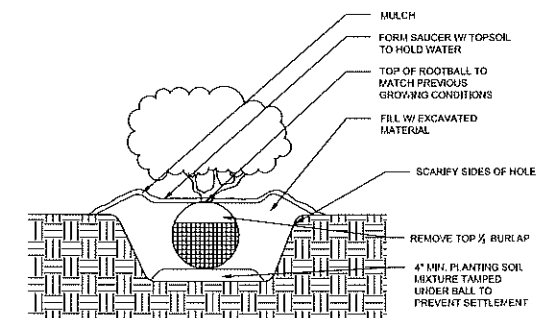




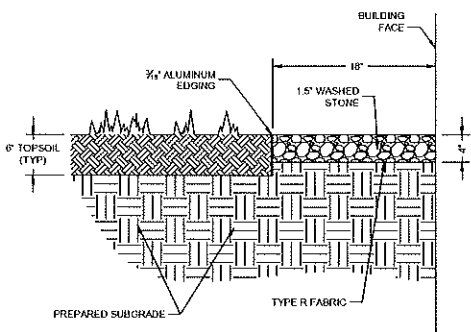
TREE PLANTING DETAIL
(TREES OVER 2" CALIPER)



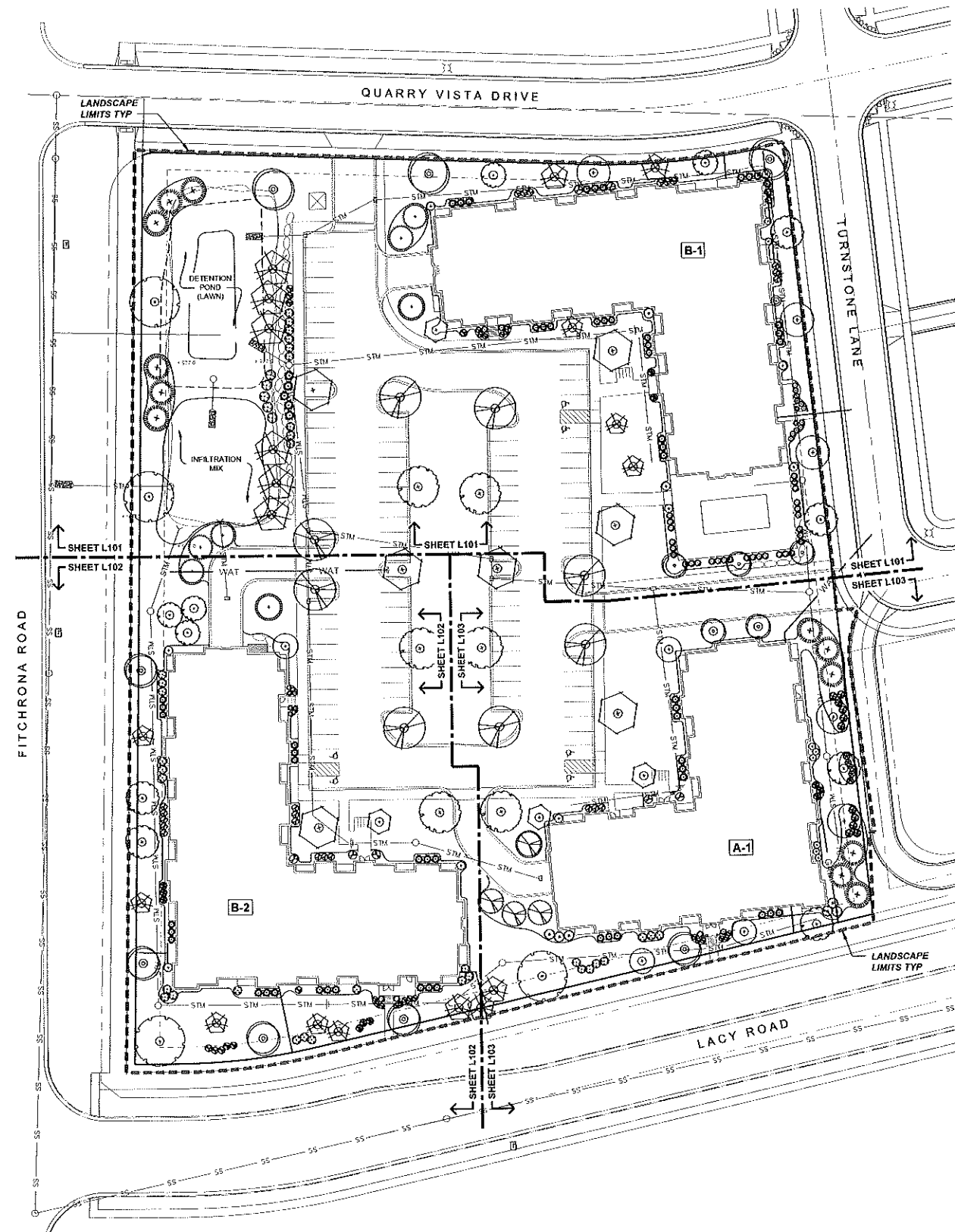
TREE PLANTING DETAIL
(TREES UNDER 2" CALIPER)



SHRUB PLANTING DETAIL



STONE MAINTENANCE EDGE



SITE LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE ALUMINUM "CURV-RITE" EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 5' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH.
- ALL LANDSCAPE AREAS NOT WITHIN A PLANTING BED SHALL BE FINISH GRADED, AND SEEDED WITH TURF GRASS SEED PER THE PROJECT MANUAL SPECIFICATIONS UNLESS OTHERWISE NOTED.
- INFILTRATION MIX SHALL CONFORM TO PRAIRIE NURSERY "MOIST MEADOW AND RAIN GARDEN MIX".
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE.
- SEE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING, STAKING OF TREES, WARRANTY PERIOD, MAINTENANCE, ETC.
- SEE DETAILS FOR PLANTING INSTALLATION.

LANDSCAPE SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
DECIDUOUS TREES						
ACA	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4	8' TALL	B&B	MULTI-STEM
AFA	<i>Acer x freemanii</i> 'Fall Fantasy'	Fall Fantasy Maple	8	2.5'	B&B	
AFC	<i>Acer x freemanii</i> 'Celebration'	Celebration Maple	5	2.5'	B&B	
ARK	<i>Acer rubrum</i> 'Karpis'	Karpis Red Maple	5	2.5'	B&B	
CA	<i>Cornus alternifolia</i>	Pagoda Dogwood	5	8' TALL	B&B	MULTI-STEM
CCJ	<i>Caryopteris caroliniana</i> 'J.N. Straut'	J.N. Straut Noddywood	5	8' TALL	B&B	MULTI-STEM
CON	<i>Cornus canadensis</i> 'Northern Star'	Northern Star Redbud	4	8' TALL	B&B	MULTI-STEM
COU	<i>Cornus occidentalis</i> 'Lizani'	Lizani Hackberry	5	2.5'	B&B	
GBA	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	3	2.5'	B&B	
GSE	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo	6	2.5'	B&B	
OTS	<i>Ostrya virginiana</i> 'Shademoor'	Shademoor Hornoak	7	2.5'	B&B	
MPF	<i>Malus 'Prize Fire'</i>	Prize Fire Crabapple	6	8' TALL	B&B	MULTI-STEM
NSW	<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Black Gum	4	2.5'	B&B	
OY	<i>Ostrya virginiana</i>	Honeylocust	6	8' TALL	B&B	MULTI-STEM
SRI	<i>Syringa reticulata</i> 'Honey Pile'	Honey Pile Japanese Tree Lilac	5	1.5'	B&B	
EVERGREEN TREES						
CCF	<i>Concolor Fir</i>	Concolor Fir	7	8' TALL	B&B	
POD	<i>Pinus glauca</i> var. <i>depressa</i>	Black Hills Spruce	12	8' TALL	B&B	
PS	<i>Pinus strobus</i>	Eastern White Pine	4	8' TALL	B&B	
DECIDUOUS SHRUBS						
AM	<i>Amelanchier x grandiflora</i> 'Iniquity Beauty'	Iniquity Beauty Chokeberry	5	36" TALL	POT	
CSA	<i>Cornus sericea</i> 'Arctic Fire'	Arctic Fire Dogwood	11	36" TALL	POT	
FGS	<i>Fothergilla gardenii</i> 'Dorset Creek'	Dorset Creek Fothergilla	17	18" TALL	POT	
HSA	<i>Hydrangea macrophylla</i> 'All Summer Beauty'	All Summer Beauty Hydrangea	9	24" TALL	B&B	
POS	<i>Physocarpus opulifolius</i> 'Seward'	Seward Ninebark	8	36" TALL	POT	
RT	<i>Rhus typhina</i>	Staghorn Sumac	31	48" TALL	POT	
SJM	<i>Spiraea japonica</i> 'Magic Carpet'	Magic Carpet Spiraea	20	12" TALL	POT	
SP	<i>Syringa 'Pender'</i>	Skomberg Lilac	10	24" TALL	POT	
VCC	<i>Viburnum coccineum</i>	Koreanop Viburnum	10	36" TALL	POT	
VR	<i>Viburnum rufidulum</i> 'Alfred'	Alfreda Cranberrybush Viburnum	7	48" TALL	POT	
WR	<i>Wegelia 'Rumba'</i>	Rumba Weigela	11	24" TALL	POT	
EVERGREEN SHRUBS						
CPG	<i>Chamaecyparis platensis</i> 'Golden Mops'	Golden Mops False Cypress	19	18" TALL	POT	
JHJ	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	9	12" TALL	POT	
JSW	<i>Juniperus scopulorum</i> 'Wachol'	Wachol Juniper	6	24" TALL	POT	
JVB	<i>Juniperus virginiana</i> 'Blue Mountain'	Blue Mountain Juniper	17	24" TALL	POT	
RP	<i>Rhododendron 'PJM'</i>	PJM Rhododendron	7	36" TALL	POT	
TGB	<i>Taxus canadensis</i> 'Barnet'	Barnet Dwarf Canadian Hemlock	21	24" TALL	POT	
TMT	<i>Taxus x media</i> 'Tuxfordii'	Tuxfordii Yew	23	24" TALL	B&B	
TOH	<i>Thuja occidentalis</i> 'Holmsstrup'	Holmsstrup Arborvitae	4	24" TALL	B&B	
TOS	<i>Thuja occidentalis</i> 'Smaragd'	Smaragd Arborvitae	29	48" TALL	B&B	

OVERALL LANDSCAPE PLAN

ELAN APARTMENTS

FITCHBURG, WISCONSIN



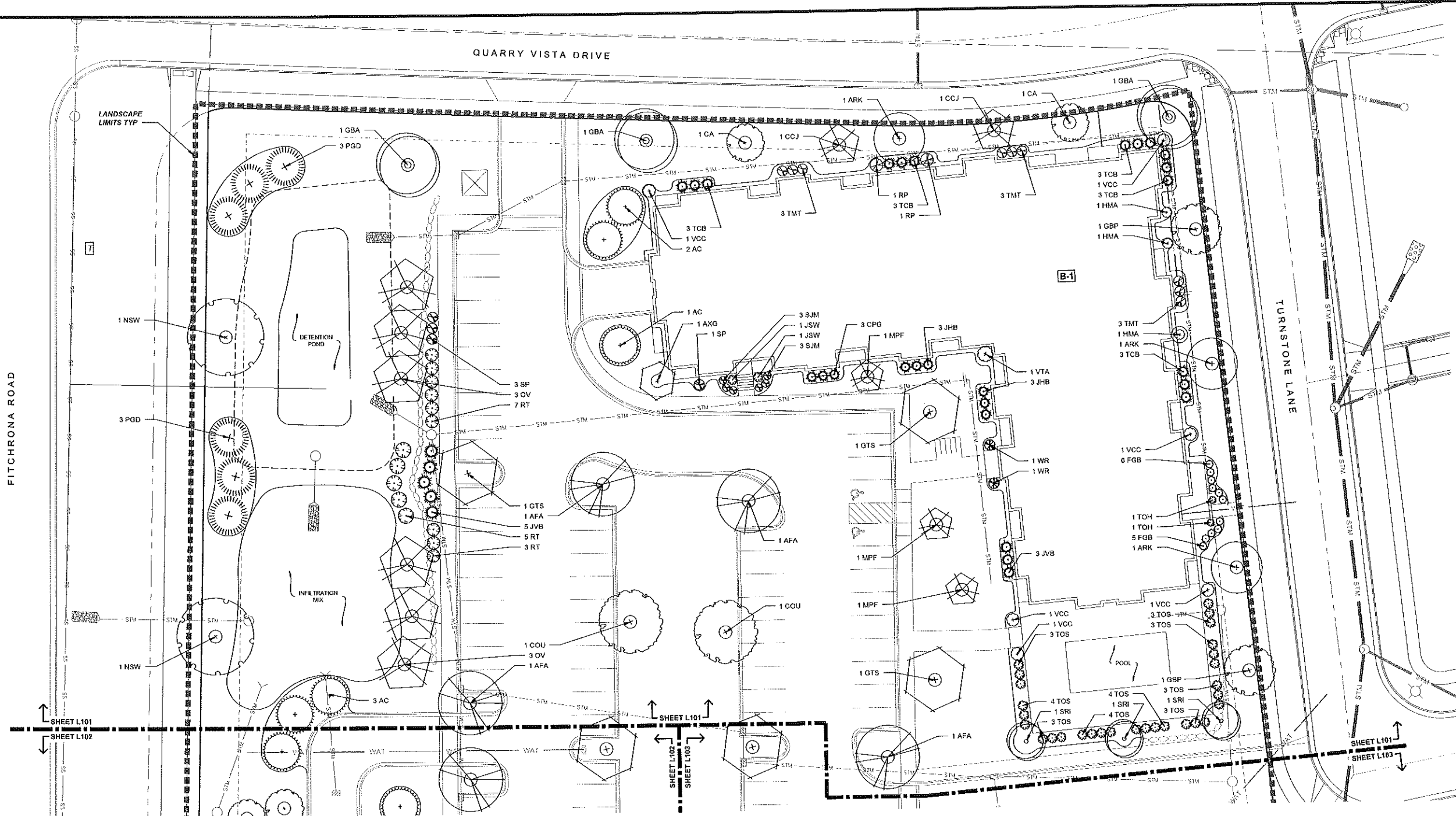
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LANDSCAPE SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
DECIDUOUS TREES						
ACA	Arista x grandifolia 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4	8' TALL	B&B	MULTI-STEM
AFA	Acer x freemanii 'Fall Fantasy'	Fall Fantasy Maple	0	2 5"	B&B	
AFC	Acer x freemanii 'Cedron'	Cedron Maple	5	2 5"	B&B	
ARK	Acer rubrum 'Karpis'	Karpis Red Maple	5	2 5"	B&B	
CA	Cornus alternifolia	Pagoda Dogwood	5	8' TALL	B&B	MULTI-STEM
CCJ	Carpinus caroliniana 'N Strain'	N Strain Nutcase	5	8' TALL	B&B	MULTI-STEM
CCN	Cercis canadensis 'Northern Strain'	Northern Strain Redbud	4	8' TALL	B&B	MULTI-STEM
COU	Celtis occidentalis 'Ulman'	Ultra Hackberry	8	2 5"	B&B	
CSA	Cornus spicata 'Autumn Gold'	Autumn Gold Spice	3	2 5"	B&B	
GBF	Gleditsia bicolor 'Princeton Sentry'	Princeton Sentry Gleditsia	6	2 5"	B&B	
GTS	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	7	2 5"	B&B	
MPF	Malus 'Prarie Fire'	Prarie Fire Crabapple	8	8' TALL	B&B	MULTI-STEM
NSW	Nyssa sylvatica 'Widow'	Widow Black Gum	4	2 5"	B&B	
OV	Ostrya virginiana	Ironwood	8	8' TALL	B&B	MULTI-STEM
SRI	Syringa reticulata 'Ivory Pillar'	Ivory Pillar Japanese Tree Lilac	5	1 5"	B&B	
EVERGREEN TREES						
AC	Abies concolor	Concolor Fir	7	8' TALL	B&B	
PGD	Picea glauca var. densata	Black Hills Spruce	12	8' TALL	B&B	
PS	Pinus strobus	Eastern White Pine	4	8' TALL	B&B	

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
DECIDUOUS SHRUBS						
AM	Aronia melanocarpa 'Wigwag Beauty'	Wigwag Beauty Chokeberry	5	36" TALL	POT	
CSA	Cornus sericea 'White Fire'	White Fire Dogwood	11	36" TALL	POT	
FGB	Fothergilla gardenii 'Beaver Creek'	Beaver Creek Fothergilla	17	18" TALL	POT	
HMA	Hydrangea macrophylla 'All Summer Beauty'	All Summer Beauty Hydrangea	9	24" TALL	B&B	
POS	Physocarpus opulifolius 'Seward'	Seward Winesap	8	36" TALL	POT	
RT	Rhus typhina	Staghorn sumac	31	48" TALL	POT	
SJM	Spiraea japonica 'Magic Carpet'	Magic Carpet Spiraea	20	12" TALL	POT	
SP	Syringa pendula	Blooming Star	10	24" TALL	POT	
VCC	Viburnum cuneifolium	Konspick Viburnum	10	36" TALL	POT	
VR	Viburnum trilobum 'Alfred'	Alfred Cranberrybush	7	48" TALL	POT	
WR	Weigela 'Rumba'	Rumba Weigela	11	24" TALL	POT	
EVERGREEN SHRUBS						
CPG	Chamaecyparis pisifera 'Golden Mops'	Golden Mops False Cypress	18	18" TALL	POT	
JH4	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	9	12" TALL	POT	
JSW	Juniperus scopulorum 'Witch'	Witch Juniper	6	24" TALL	POT	
JVB	Juniperus virginiana 'Blue Mountain'	Blue Mountain Juniper	17	24" TALL	POT	
RP	Rhododendron 'PJM'	PJM Rhododendron	7	36" TALL	POT	
TCB	Taxus canadensis 'Bennet'	Bennet Dwarf Canadian Hemlock	21	24" TALL	POT	
TMT	Taxus x media 'Taunton'	Taunton Yew	23	24" TALL	B&B	
TOH	Thuja occidentalis 'Hortensia'	Hortensia Arborvitae	4	24" TALL	B&B	
TOS	Thuja occidentalis 'Smaragd'	Smaragd Arborvitae	29	48" TALL	B&B	

SITE LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DIGGER'S HOTLINE 3 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH CONTAINED BY LANDSCAPE EDGING.
- LANDSCAPE EDGING SHALL BE ALUMINUM "CURV-RITE" EDGING.
- ALL TREES IN TURF AREAS SHALL HAVE A 5' DIAMETER CIRCLE OF 3" DEPTH SHREDDED HARDWOOD BARK MULCH.
- ALL LANDSCAPE AREAS NOT WITHIN A PLANTING BED SHALL BE FINISH GRADED, AND SEEDED WITH TURFGRASS SEED PER THE PROJECT MANUAL SPECIFICATIONS UNLESS OTHERWISE NOTED.
- INFILTRATION MIX SHALL CONFORM TO PRAIRIE NURSERY 'MOIST MEADOW AND RAIN GARDEN MIX'.
- ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE.
- SEE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING, STAKING OF TREES, WARRANTY PERIOD, MAINTENANCE, ETC.
- SEE DETAILS FOR PLANTING INSTALLATION.

D'ONOFRI KOTTKE AND ASSOCIATES, INC.
7550 Westward Way, Madison, WI 53717
Phone: 608.833.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT

ELAN APARTMENTS

LANDSCAPE PLAN

FITCHBURG, WISCONSIN



DATE: 04-01-15
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FN: 14-03-104

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DATE: 04-01-15
REVISED:

DR: HVB: MS

FN: 14-03-104

Sheet Number

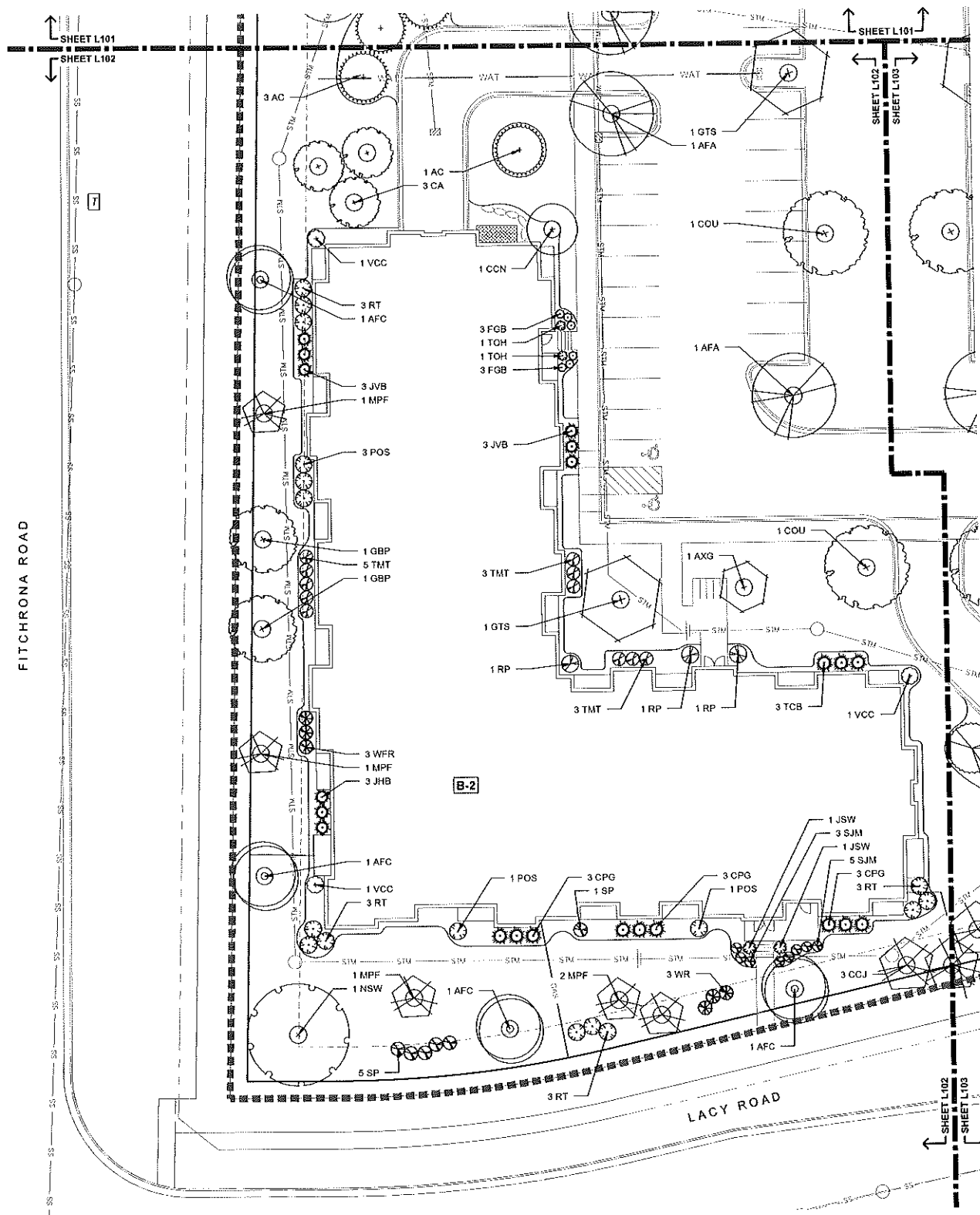
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SITE LANDSCAPE PLAN - GENERAL NOTES

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11. SEE DETAILS FOR PLANTING INSTALLATION.

LANDSCAPE SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
DECIDUOUS TREES						
ACA	<i>Amselanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4	8" TALL	B&B	MULTI-STEM
AFA	<i>Acer x freemanii</i> 'Fall Fantasy'	Fall Fantasy Maple	8	2 1/2"	B&B	
AFC	<i>Acer x freemanii</i> 'Celestial'	Celestial Maple	5	2 1/2"	B&B	
ARK	<i>Acer rubrum</i> 'Karpis'	Karpis Red Maple	5	2 1/2"	B&B	
CA	<i>Cornus alternifolia</i>	Kapok Dogwood	5	8" TALL	B&B	MULTI-STEM
CCJ	<i>Carpinus caroliniana</i> 'JN Strain'	JN Strain Muscadine	5	8" TALL	B&B	MULTI-STEM
CCN	<i>Cercia canadensis</i> 'Northern Strain'	Northern Strain Redbud	4	8" TALL	B&B	MULTI-STEM
COU	<i>Celtis occidentalis</i> 'Ulm'	Ulm Hackberry	6	2 1/2"	B&B	
GBA	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	3	2 1/2"	B&B	
GEF	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo	6	2 1/2"	B&B	
GTS	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	7	2 1/2"	B&B	
MPF	<i>Malus</i> 'Prairie Fire'	Prairie Fire Crabapple	8	8" TALL	B&B	MULTI-STEM
NSW	<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Black Gum	4	2 1/2"	B&B	
OV	<i>Ostrya virginiana</i>	Ironwood	8	8" TALL	B&B	MULTI-STEM
SRI	<i>Syringa reticulata</i> ' Ivory Pillar'	Ivory Pillar Japanese Tree Lilac	5	1 1/2"	B&B	
EVERGREEN TREES						
AC	<i>Abies concolor</i>	Concolor Fir	7	8" TALL	B&B	
PGD	<i>Picea glauca</i> var. <i>densata</i>	Black Hills Spruce	12	8" TALL	B&B	
PS	<i>Pinus strobus</i>	Eastern White Pine	4	8" TALL	B&B	
DECIDUOUS SHRUBS						
AM	<i>Aronia melanocarpa</i> 'Vigors Beauty'	Vigors Beauty Chokeberry	5	36" TALL	POT	
CSA	<i>Cornus sericea</i> 'Arctic Fire'	Arctic Fire Dogwood	11	36" TALL	POT	
FGD	<i>Fothergilla gardenii</i> 'Beaver Creek'	Beaver Creek Fothergilla	17	18" TALL	POT	
HMA	<i>Hydrangea macrophylla</i> 'All Summer Beauty'	All Summer Beauty Hydrangea	9	24" TALL	B&B	
POS	<i>Physocarpus opulifolius</i> 'Seward'	Summer Wine Ninebark	8	36" TALL	POT	
RT	<i>Rhus typhina</i>	Staghorn sumac	31	48" TALL	POT	
SJM	<i>Spiraea japonica</i> 'Magic Carpet'	Magic Carpet Spiraea	29	12" TALL	POT	
SP	<i>Syringa pendula</i>	Blosserong Lilac	10	24" TALL	POT	
VCC	<i>Viburnum coccineum</i>	Korean Spice Viburnum	10	36" TALL	POT	
VT	<i>Viburnum trilobum</i> 'Afredd'	Afredd Cranberrybush Viburnum	7	48" TALL	POT	
WR	<i>Weigela 'Rumba'</i>	Rumba Weigela	11	24" TALL	POT	
EVERGREEN SHRUBS						
CPG	<i>Chamaecyparis pteris</i> 'Golden Mops'	Golden Mops False Cypress	18	18" TALL	POT	
J&B	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	9	12" TALL	POT	
JSW	<i>Juniperus scopulorum</i> 'Walcot'	Walcot Juniper	6	24" TALL	POT	
JVB	<i>Juniperus virginiana</i> 'Blue Mountain'	Blue Mountain Juniper	17	24" TALL	POT	
RP	<i>Rhododendron P.J.M.</i>	P.J.M. Rhododendron	7	36" TALL	POT	
TCB	<i>Taxus canadensis</i> 'Bennet'	Bennet Dwarf Canadian Hemlock	21	24" TALL	POT	
TMT	<i>Taxus x media</i> 'Taunton'	Taunton Yew	23	24" TALL	B&B	
TOH	<i>Thuja occidentalis</i> 'Holmsvup'	Holmsvup Arborvitae	4	24" TALL	B&B	
TOS	<i>Thuja occidentalis</i> 'Smaragd'	Pyramidal Arborvitae	29	48" TALL	B&B	





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LANDSCAPE SCHEDULE

CODE	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE	ROOT COND	NOTES
DECIDUOUS TREES						
ACA	<i>Acerobrya x grandifolia</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4	8" TALL	B&B	MAINT-STEM
AFA	<i>Acer x freemanii</i> 'Fall Fantasy'	Fall Fantasy Maple	8	2 1/2'	B&B	
AFC	<i>Acer x freemanii</i> 'Celtzan'	Celebration Maple	5	2 1/2'	B&B	
ARK	<i>Acer nigrum</i> 'Karpick'	Karpick Red Maple	5	2 1/2'	B&B	
CA	<i>Cornus alternifolia</i>	Flagada Dogwood	5	8" TALL	B&B	MAINT-STEM
CCJ	<i>Carpinus canadensis</i> 'N' Star'	Northern Star Manchurianced	5	8" TALL	B&B	MAINT-STEM
CCN	<i>Cercis canadensis</i> 'Northern Strain'	Northern Strain Redbud	4	8" TALL	B&B	MAINT-STEM
COU	<i>Celtis occidentalis</i> 'Ultima'	Ultra Hackberry	6	2 1/2'	B&B	
GGA	<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	3	2 1/2'	B&B	
GBF	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo	6	2 1/2'	B&B	
GTS	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	7	2 1/2'	B&B	
HRF	<i>Hales</i> 'Prinle Fire'	Prinle Fire Crabapple	6	8" TALL	B&B	MAINT-STEM
NEW	<i>Myrica asplenica</i> 'Widite'	Widite Black Gum	4	2 1/2'	B&B	
ORV	<i>Ostrya virginiana</i>	Ironwood	6	8" TALL	B&B	MAINT-STEM
SRI	<i>Syringa reticulata</i> 'Tory Pillar'	Tory Pillar Japanese Tree Lilac	5	1 1/2'	B&B	
EVERGREEN TREES						
AC	<i>Abies concolor</i>	Concolor Fir	7	8" TALL	B&B	
PGD	<i>Picea glauca</i> var. <i>densata</i>	Black Hills Spruce	12	8" TALL	B&B	
PS	<i>Picea canadensis</i>	Eastern White Pine	4	8" TALL	B&B	
DECIDUOUS SHRUBS						
AM	<i>Aronia melanocarpa</i> 'Inspira Beauty'	Inspira Beauty Chokeberry	5	38" TALL	POT	
CSA	<i>Cornus stolonacea</i> 'Arctic Fire'	Arctic Fire Dogwood	11	38" TALL	POT	
FGB	<i>Fraxinus gartenii</i> 'Beaver Creek'	Beaver Creek Forsythia	9	24" TALL	POT	
HMA	<i>Hydrangia macrophylla</i> 'Al Summer Beauty'	Al Summer Beauty Hydrangea	5	24" TALL	B&B	
ROS	<i>Rosa rugosa</i> 'Suzanne'	Suzanne Rose	8	36" TALL	POT	
RT	<i>Rhamnus typhala</i>	Staphorn sumac	31	48" TALL	POT	
SJM	<i>Spiraea japonica</i> 'Midge Carpet'	Midge Carpet Spiraea	20	12" TALL	POT	
SP	<i>Syringa pendula</i>	Brooming Tree Lilac	10	24" TALL	POT	
VCC	<i>Viburnum carlesii</i>	Koreanopence Viburnum	10	36" TALL	POT	
VT	<i>Viburnum bicolor</i> 'Africoid'	Africoid Crabapple/Viburnum	7	48" TALL	POT	
WR	<i>Wibes Rumbid</i>	Rumbid Wibes	11	24" TALL	POT	
EVERGREEN SHRUBS						
CPB	<i>Chamaecyparis pfitzeri</i> 'Golden Mops'	Golden Mops False Cypress	18	18" TALL	POT	
JMG	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	9	12" TALL	POT	
JSW	<i>Juniperus scopulorum</i> 'Witchi'	Witchi Juniper	6	24" TALL	POT	
JW	<i>Juniperus virginiana</i> 'Blue Mountain'	Blue Mountain Juniper	17	24" TALL	POT	
RI	<i>Rhododendron 'Polar'</i>	Polar Rhododendron	7	36" TALL	POT	
TRT	<i>Rhododendron 'Barnet'</i>	Barnet Dwarf Canadian Hemlock	21	24" TALL	POT	
TM	<i>Taxus x media</i> 'Tautoni'	Tautoni Yew	23	24" TALL	B&B	
TOH	<i>Thuja occidentalis</i> 'Holmstrup'	Holmstrup Arborvital	4	24" TALL	B&B	
TOS	<i>Thuja occidentalis</i> 'Smaragd'	Pyramidal Arborvital	29	48" TALL	B&B	



Luminaire Schedule					
Qty	Label	Arrangement	Total Lamp Lumens	Lum. Lumens	LLF Description
16	OA23	SINGLE	1400	9612	0.750 LUMARK + FFT1152P15
3	OB3	SINGLE	N.A.	2649	0.875 LUMARK + XTOR3A
17	OC	SINGLE	N.A.	1209	0.940 LUMIERE + 303-B1-LED03-4000-UNV-T2-04VELV-02-36

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
ENTIRE SITE	Illuminance	Fc	0.55	15.5	0.0	N.A.
PARKING LOT & DRIVES	Illuminance	Fc	1.44	5.5	0.4	3.60



QUARRY VISTA / ELAN
RESIDENTIAL DEVELOPMENT
FITCHBURG, WISCONSIN

SITE LIGHTING PLAN

DATE: APR. 15, 2015 SCALE: 1" = 30'-0" SHEET NUMBER: E1




Date: Dec 10, 2014

Enterprise Lighting, LTD.
2007 Pewaukee Rd.
Waukesha WI 53188
Phone: (262) 953-2700
Fax: (262) 953-2710

Job Name
Quarry Vista - current site

Bid Date
Dec 10, 2014

Submittal Date
Dec 10, 2014

Submitted by Enterprise Lighting, LTD.		Catalog Number:	Type:
	Job Name: Quarry Vista - current site	PFT11523P15	OA23
		Notes:	

DESCRIPTION

The Lumark Tribute Pole/Fixture Combo features all you need for easy selection and installation for poles and fixtures. Including the quality, die-cast Tribute area luminaire and 8" arm complete with lamp, square straight steel pole and necessary anchorage. Available in single or dual fixture combinations.

The Tribute/Pole Combo is ideal for parking areas, access roadways and other general off street area/site lighting applications.

Catalog #	Type
Project	
Comments	Date
Prepared by	

SPECIFICATION FEATURES

Construction

Rugged one-piece die-cast aluminum housing and door frame finished in dark bronze polyester powder paint. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One (1) stainless spring latch and two (2) stainless steel hinges allow toolless opening and removal of door frame. U.L. Listed and CSA certified for wet locations.

Electrical

Ballast and related electrical componentry are hard mounted to die-cast housing for optimal heat transfer and operating efficiency.

Mounting

Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole.

Finish

Housing and arm finished in a 5 stage premium TGIC bronze polyester powder coat paint.

Reflector


Hydroformed anodized aluminum reflector offered in an adjustable Type II/III or a Type IV distribution. Optical modules are field rotatable in 90° increments and offered standard with medium or mogul-base lampholders.

Pole




Shaft is one piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A366 steel full base cover is provided to enclose base plate and anchor bolts. Anchor bolts are per ASTM A576 with (2) nuts, (2) flat washers, and (1) lock washer. Hardware and threaded portion of bolt are hot dip galvanized. 3" hook for 3/4" bolt. 4" hook for 1" bolt.

LAMP TYPE	WATTAGE
Pulse Start Metal Halide (MP)	150, 250, 320, 400W
High Pressure Sodium (HP)	150, 250, 400W

TECHNICAL DATA (Fixture)

U.L. Wet Location Listed
CSA Certified
EISA Compliant 

ENERGY DATA


Hi-Reactance Ballast Input Watts
150W HPS HPF (190 Watts)
150W MP HPF (185 Watts)
CWA Ballast Input Watts
250W MP HPF (283 Watts) 
250W HPS HPF (295 Watts)
320W MP HPF (365 Watts) 
400W MP HPF (452 Watts) 
400W HPS HPF (465 Watts)

EPA

Effective Projected Area: (Sq. Ft.)
Single: 1.62
Dual: 3.24

SHIPPING DATA

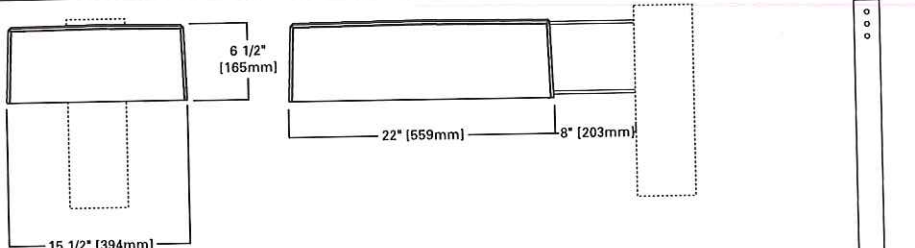
Approximate Net Weight:
39 lbs. (17.73 kgs.)



PFT TRIBUTE AND POLE COMBO

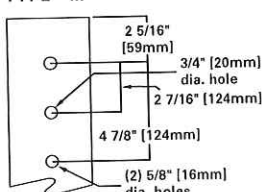
150 - 400 W
High Pressure Sodium
Pulse Start Metal Halide
15' - 30'
Square Straight
Steel Pole
POLE AND FIXTURE COMBO


DIMENSIONS



DRILLING PATTERNS

TYPE "M"





COOPER Lighting
www.cooperlighting.com

Specifications and Dimensions subject to change without notice.
Consult your representative for additional options and finishes.

Submitted by Enterprise Lighting, LTD.



Job Name:
Quarry Vista - current site

Catalog Number:
PFT11523P15

Notes:

Type:
OA23

ORDERING INFORMATION

PFT TRIBUTE AND POLE COMBO

Sample Number: PFT1153H159N/AB

Series PFT=Tribute Pole Combo	Number of Fixtures 1=1 2=2	Lamp Wattage 15=150W 25=250W 32=320W 40=400W	Distribution 23=Type II/III 4F=Type IV Formed	Lamp Type P=Pulse Start Metal Halide H=High Pressure Sodium	Pole Height 15=15' 20=20' 25=25' 30=30'	Zone 9=90 MPH Wind Zone 0=100 MPH Wind Zone	Options N/AB=No Anchor Bolts (Used when ordered separately)
----------------------------------	----------------------------------	--	---	---	---	---	--

Notes: 1 8 inch arm and pole adapter included with fixture. Lamp Included with all PFT configurations.
2 N/AB models available by specifying N/AB (IE: PFT11523P15N/AB).
* Note: Supplied with Multi-Tap ballast 120/208/240/277 (wired 277V) with square straight steel shaft, anchor bolts, template, base cover and hardware.

Lamp Source/Number of Fixtures	Pole Height	Wattage	Distribution	80 MPH	90 MPH ¹	100 MPH ¹
HIGH PRESSURE SODIUM (HPS)						
Single Fixture 	15' Pole	150W HPS	Type II/III	PFT11523H15 ²	PFT11523H15 ²	PFT11523H15 ²
			Type IV	PFT1154FH15 ²	PFT1154FH15 ²	PFT1154FH15 ²
		400W HPS	Type II/III	PFT12523H20 ²	PFT12523H20 ²	PFT12523H20 ²
	20' Pole	250W HPS	Type IV	PFT1254FH20 ²	PFT1254FH20 ²	PFT1254FH20 ²
			Type II/III	PFT14023H20 ²	PFT14023H20 ²	PFT14023H20 ²
			Type IV	PFT1404FH20 ²	PFT1404FH20 ²	PFT1404FH20 ²
	25' Pole	250W HPS	Type II/III	PFT12523H25 ²	PFT12523H25 ²	PFT12523H25 ²
			Type IV	PFT1254FH25 ²	PFT1254FH25 ²	PFT1254FH25 ²
		400W HPS	Type II/III	PFT14023H25 ²	PFT14023H25 ²	PFT14023H25 ²
	30' Pole		Type IV	PFT1404FH25 ²	PFT1404FH25 ²	PFT1404FH25 ²
		250W HPS	Type II/III	PFT12523H30 ²	PFT12523H30 ²	PFT12523H30 ²
			Type IV	PFT1254FH30 ²	PFT1254FH30 ²	PFT1254FH30 ²
Dual Fixture 	15' Pole	150W HPS	Type II/III	PFT21523H15 ²	PFT21523H15 ²	PFT21523H15 ²
			Type IV	PFT2154FH15 ²	PFT2154FH15 ²	PFT2154FH15 ²
		400W HPS	Type II/III	PFT22523H20 ²	PFT22523H20 ²	PFT22523H20 ²
	20' Pole	250W HPS	Type IV	PFT2254FH20 ²	PFT2254FH20 ²	PFT2254FH20 ²
			Type II/III	PFT24023H20 ²	PFT24023H20 ²	PFT24023H20 ²
			Type IV	PFT2404FH20 ²	PFT2404FH20 ²	PFT2404FH20 ²
	25' Pole	250W HPS	Type II/III	PFT22523H25 ²	PFT22523H25 ²	PFT22523H25 ²
			Type IV	PFT2254FH25 ²	PFT2254FH25 ²	PFT2254FH25 ²
		400W HPS	Type II/III	PFT24023H25 ²	PFT24023H25 ²	PFT24023H25 ²
	30' Pole		Type IV	PFT2404FH25 ²	PFT2404FH25 ²	PFT2404FH25 ²
		250W HPS	Type II/III	PFT22523H30 ²	PFT22523H30 ²	PFT22523H30 ²
			Type IV	PFT2254FH30 ²	PFT2254FH30 ²	PFT2254FH30 ²
Single Fixture 	15' Pole	150W PSMH	Type II/III	PFT11523P15 ²	PFT11523P15 ²	PFT11523P15 ²
			Type IV	PFT1154FP15 ²	PFT1154FP15 ²	PFT1154FP15 ²
		320W PSMH	Type II/III	PFT12523P20 ²	PFT12523P20 ²	PFT12523P20 ²
	20' Pole	250W PSMH	Type IV	PFT1254FP20 ²	PFT1254FP20 ²	PFT1254FP20 ²
			Type II/III	PFT13223P20 ²	PFT13223P20 ²	PFT13223P20 ²
			Type IV	PFT1324FP20 ²	PFT1324FP20 ²	PFT1324FP20 ²
	25' Pole	400W PSMH	Type II/III	PFT14023P20 ²	PFT14023P20 ²	PFT14023P20 ²
			Type IV	PFT1404FP20 ²	PFT1404FP20 ²	PFT1404FP20 ²
	30' Pole	250W PSMH	Type II/III	PFT12523P25 ²	PFT12523P25 ²	PFT12523P25 ²
			Type IV	PFT1254FP25 ²	PFT1254FP25 ²	PFT1254FP25 ²
		320W PSMH	Type II/III	PFT13223P25 ²	PFT13223P25 ²	PFT13223P25 ²
	30' Pole		Type IV	PFT1324FP25 ²	PFT1324FP25 ²	PFT1324FP25 ²
Dual Fixture 	15' Pole	150W PSMH	Type II/III	PFT21523P15 ²	PFT21523P15 ²	PFT21523P15 ²
			Type IV	PFT2154FP15 ²	PFT2154FP15 ²	PFT2154FP15 ²
		320W PSMH	Type II/III	PFT22523P20 ²	PFT22523P20 ²	PFT22523P20 ²
	20' Pole	250W PSMH	Type IV	PFT2254FP20 ²	PFT2254FP20 ²	PFT2254FP20 ²
			Type II/III	PFT23223P20 ²	PFT23223P20 ²	PFT23223P20 ²
			Type IV	PFT2324FP20 ²	PFT2324FP20 ²	PFT2324FP20 ²
	25' Pole	400W PSMH	Type II/III	PFT24023P20 ²	PFT24023P20 ²	PFT24023P20 ²
			Type IV	PFT2404FP20 ²	PFT2404FP20 ²	PFT2404FP20 ²
	30' Pole	250W PSMH	Type II/III	PFT22523P25 ²	PFT22523P25 ²	PFT22523P25 ²
			Type IV	PFT2254FP25 ²	PFT2254FP25 ²	PFT2254FP25 ²
		320W PSMH	Type II/III	PFT23223P25 ²	PFT23223P25 ²	PFT23223P25 ²
	30' Pole		Type IV	PFT2324FP25 ²	PFT2324FP25 ²	PFT2324FP25 ²
Dual Fixture 	15' Pole	150W PSMH	Type II/III	PFT21523P15 ²	PFT21523P15 ²	PFT21523P15 ²
			Type IV	PFT2154FP15 ²	PFT2154FP15 ²	PFT2154FP15 ²
		320W PSMH	Type II/III	PFT22523P20 ²	PFT22523P20 ²	PFT22523P20 ²
	20' Pole	250W PSMH	Type IV	PFT2254FP20 ²	PFT2254FP20 ²	PFT2254FP20 ²
			Type II/III	PFT23223P20 ²	PFT23223P20 ²	PFT23223P20 ²
			Type IV	PFT2324FP20 ²	PFT2324FP20 ²	PFT2324FP20 ²
	25' Pole	400W PSMH	Type II/III	PFT24023P20 ²	PFT24023P20 ²	PFT24023P20 ²
			Type IV	PFT2404FP20 ²	PFT2404FP20 ²	PFT2404FP20 ²
	30' Pole	250W PSMH	Type II/III	PFT22523P25 ²	PFT22523P25 ²	PFT22523P25 ²
			Type IV	PFT2254FP25 ²	PFT2254FP25 ²	PFT2254FP25 ²
		320W PSMH	Type II/III	PFT23223P25 ²	PFT23223P25 ²	PFT23223P25 ²
	30' Pole		Type IV	PFT2324FP25 ²	PFT2324FP25 ²	PFT2324FP25 ²

Refer to In Stock Guide for availability.

NOTES: 1 0 or 9 are noted where needed to designate a heavier gauge pole.
2 Supplied with 4A Square Straight Steel shaft (SSS), anchor bolts (AB1), template (TMP1) Hardware and base cover. 15' combo SSS4A16SFM4, 20' combo SSS4A20SFM4 and 25' combo SSS4A25SFM4.
3 Supplied with 5A Square Straight Steel shaft (SSS), anchor bolts (AB1), template (TMP1) Hardware and base cover. 25' combo SSS5A25SFM4 and 30' combo SSS5A30SFM4.
4 Supplied with 6M Square Straight Steel shaft (SSS), anchor bolts (AB1), template (TMP1) Hardware and base cover. 30' combo SSS6M30SFM4.
5 Supplied with 6M Square Straight Steel shaft (SSS), anchor bolts (AB3), template (TMP2) Hardware and base cover. 30' combo SSS6M30SFM4.

Specifications and Dimensions subject to change without notice.

Lumark • Customer First Center • 1121 Highway 74 South • Peachtree City, GA 30269 • TEL 770.486.4800 • FAX 770.486.4801

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Submitted by Enterprise Lighting, LTD.



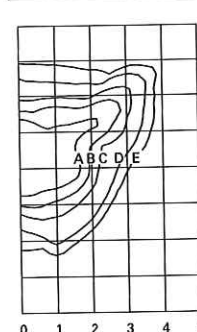
Job Name:
Quarry Vista - current site

Catalog Number:
PFT11523P15

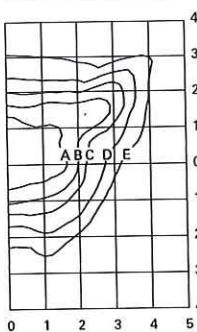
Notes:

Type:
OA23

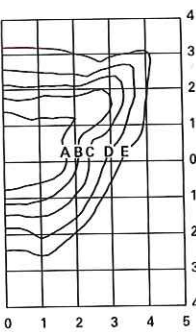
PHOTOMETRICS (Complete IES files available at www.cooperlighting.com)



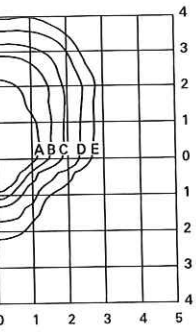
PFT12523P25
250—Watt MP
22,000—Lumen Clear Lamp
Type III Formed



PFT13223P25
320—Watt MP
30,000—Lumen Clear Lamp
Type III Formed



PFT14023P25
400—Watt MP
40,000—Lumen Clear Lamp
Type III Formed



PFT14023H25
400—Watt HP
50,000—Lumen Clear Lamp
Type IV

Footcandle Table Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.					
Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
20'	3.00	1.50	0.75	0.30	0.15
25'	2.00	1.00	0.50	0.20	0.10
30'	1.38	0.69	0.34	0.13	0.06

COOPER Lighting
www.cooperlighting.com

Specifications and Dimensions subject to change without notice.
Lumark • Customer First Center • 1121 Highway 74 South • Peachtree City, GA 30269 • TEL 770.486.4800 • FAX 770.486.4801

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Submitted by Enterprise Lighting, LTD.



Job Name:
Quarry Vista - current site

Catalog Number:
XTOR3A

Notes:

Type:
OB3

DESCRIPTION

The patent pending Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks.

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 10W and 20W. The large housing is available in the 30W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection for adaptation to junction box or wall. External fin design extracts heat from the LED source. 10W models operate in -40°C to 40°C [-40°F to 104°F]. 20W and 30W models operate in -30°C to 40°C [-22°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 70% of initial

light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

Five-year limited warranty.



Catalog #	Type
Project	
Comments	Date
Prepared by	



XTOR CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING



CERTIFICATION DATA

UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ARRA Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingress Protection Rated
Lighting Facts® Registered
DesignLights Consortium® Qualified*
Title 24 Compliant

TECHNICAL DATA

40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA

Effective Projected Area:
(Sq. Ft.)
XTOR1A/XTOR2A=0.34
XTOR3A = 0.45

SHIPPING DATA:

Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

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*www.designlights.org

Cooper Lighting
by **EATON**

Submitted by Enterprise Lighting, LTD.



Job Name:
Quarry Vista - current site

Catalog Number:
XTOR3A

Notes:

Type:
OB3

XTOR CROSSTOUR LED

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
10W Model		
25°C	> 91%	> 350,000
40°C	> 91%	> 340,000
50°C	> 91%	> 330,000
20W Model		
25°C	> 91%	> 340,000
40°C	> 90%	> 320,000
50°C	> 90%	> 300,000
30W Model		
25°C	> 91%	> 340,000
40°C	> 91%	> 320,000
50°C	> 90%	> 300,000

LUMENS - CRI/CCT TABLE

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	734	1432	1323	2649	2273
Delivered Lumens (With Flood Accessory Kit)	713	1424	1315	2614	2243
B.U.G. Rating*	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kelvin)	5000	5000	3500	5000	3500
CRI (Color Rendering Index)	67	65	68	65	68
Power Consumption (Watts)	8W	21W	21W	30W	30W

* B.U.G. Rating does not apply to floodlighting.

CURRENT DRAW

Voltage	Model Series		
	10W	20W	30W
120V	0.06A	0.21A	0.29A
208V	0.04A	0.13A	0.18A
240V	0.04A	0.12A	0.16A
277V	0.03A	0.10A	0.14A
347V	0.03A	0.08A	0.11A

ORDERING INFORMATION

Sample Number: XTOR2A-N-WT-PC1

Series ¹	LED Kelvin Color ²	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 10W XTOR2A=Small Door, 20W XTOR3A=Small Door, 30W	[Blank]=Bright White (Standard) 5000K N=Neutral Warm White, 3500K	[Blank]=Carbon Bronze (Standard) WT=Summit White	347V=347V ³ PC1=Photocontrol 120V ⁴ PC2=Photocontrol 208-277V ^{4,5} HA=50 C High Ambient ⁶	WG/XTOR=Wire Guard ⁸ XTORFLD-KNC=Knuckle Floodlight Kit ⁷ XTORFLD-TRN=Trunnion Floodlight Kit ⁷ XTORFLD-KNC-WT=Knuckle Floodlight Kit, White ⁷ XTORFLD-TRN-WT=Trunnion Floodlight Kit, White ⁷

NOTES: 1 DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2 XTOR1A not available in 3500K. 3 Photocontrols are factory installed. 4 Order PC2 for 347V models. 5 Thru-branch wiring not available with HA option or with 347V. 6 Wire guard for wall/surface mount. Not for use with floodlight kit accessory. 7 Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

STOCK ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A=10W, 5000K, Carbon Bronze	XTOR2A=20W, 5000K, Carbon Bronze	XTOR3A=30W, 5000K, Carbon Bronze
XTOR1A-WT=10W, 5000K, Summit White	XTOR2A-N=20W, 3500K, Carbon Bronze	XTOR3A-N=30W, 3500K, Carbon Bronze
XTOR1A-PC1=10W, 5000K, 120V PC, Carbon Bronze	XTOR2A-WT=20W, Summit White	XTOR3A-WT=30W, Summit White
	XTOR2A-PC1=20W, 120V PC, Carbon Bronze	XTOR3A-PC1=30W, 120V PC, Carbon Bronze



5-DAY QUICK SHIP ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A-WT-PC1=10W, 5000K, Summit White, 120V PC	XTOR2A-PC2=20W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A-PC2=30W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WT-PC1=20W, 5000K, Summit White, 120V PC	XTOR3A-WT-PC1=30W, 5000K, Summit White, 120V PC
	XTOR2A-WT-PC2=20W, 5000K, Summit White, 208-277V PC	XTOR3A-WT-PC2=30W, 5000K, Summit White, 208-277V PC
	XTOR2A-N-WT=20W, 3500K, Summit White	XTOR3A-N-WT=30W, 3500K, Summit White
	XTOR2A-N-PC1=20W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N-PC1=30W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N-PC2=20W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N-PC2=30W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WHT-PC1=20W, 3500K, Summit White, 120V PC	XTOR3A-N-WHT-PC1=30W, 3500K, Summit White, 120V PC
	XTOR2A-N-WT-PC2=20W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WT-PC2=30W, 3500K, Summit White, 208-277V PC

Cooper Lighting
by **EATON**

Eaton
1000 Eaton Boulevard
Cleveland, OH 44122
United States
Eaton.com

Eaton's Cooper Lighting Business
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.cooperlighting.com

Specifications and
dimensions subject to
change without notice.

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lumière

DESCRIPTION

Eon 303 - B1 and 303 - B2 are compact, low profile, dimmable, LED bollards that provide downlight only via a fixed head. 303 - B1 has a single head on one side of the luminaire and 303 - B2 has two, integrated heads coming off opposite sides of the luminaire. 303 - B1 and 303 - B2 come standard with universal input LED drivers (120 - 277V, 50/60 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver. Eon fixtures may be used indoors or outdoors and carry an IP66 rating. Our patented LumaLevelTM leveling system provides quick installation, easy adjustment, secure mounting and protection from vibration.

SPECIFICATION FEATURES

A ... Material

Head is precision-machined from corrosion-resistant 6061-T6 aluminum. Body is extruded aluminum and mounting base is cast from corrosion resistant silicone aluminum alloy.

B ... Finish

Fixture and mounting base are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. Mounting base is painted black. Fixture housing and head are available in a variety of standard colors. In addition to the standard five colors offered by Lumière, the Eon bollards are also available in colors to match other outdoor Cooper brands, such as Invue. See the Finish section in the ordering detail for more information.

C ... Lens

Clear, tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock. EDGE LIT option: when specified with the EDGE option, the glass will be slightly thicker, clear, tempered and sealed in the same manner referenced above. The added glass thickness will offer a brighter line of light around the edge of the glass that will accentuate the fixture's aesthetics and styling.

D ... Adjustable Mounting Base

Cast aluminum mounting base is equipped with the patented LumaLevelTM leveling system that includes mounting chassis, 70 shore neoprene base, stainless steel hardware and 3/4" conduit entry. It provides quick installation, easy adjustment, secure mounting and protection from vibration.

E ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

F ... Electrical

Both models come standard with universal input LED drivers (120-277, 50/60Hz). The standard driver is ELV reverse phase dimmable.

G ... LED

LEDs are included and available in three color temperatures (2700K, 3000K & 4000K) and a variety of optics. Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic. 303 - B1 comes standard with two mini lightbars and 303 - B2 comes standard with four mini lightbars.

H ... Labels & Approvals

UL and cUL listed, standard wet label. IP66 rated.

I ... Warranty

Lumière warrants its fixtures against defects in materials & workmanship for five (5) years. Auxiliary equipment such as transformers, ballasts and LED drivers carry the original manufacturer's warranty.

Catalog #	Type
Project	
Comments	
Prepared by	Date



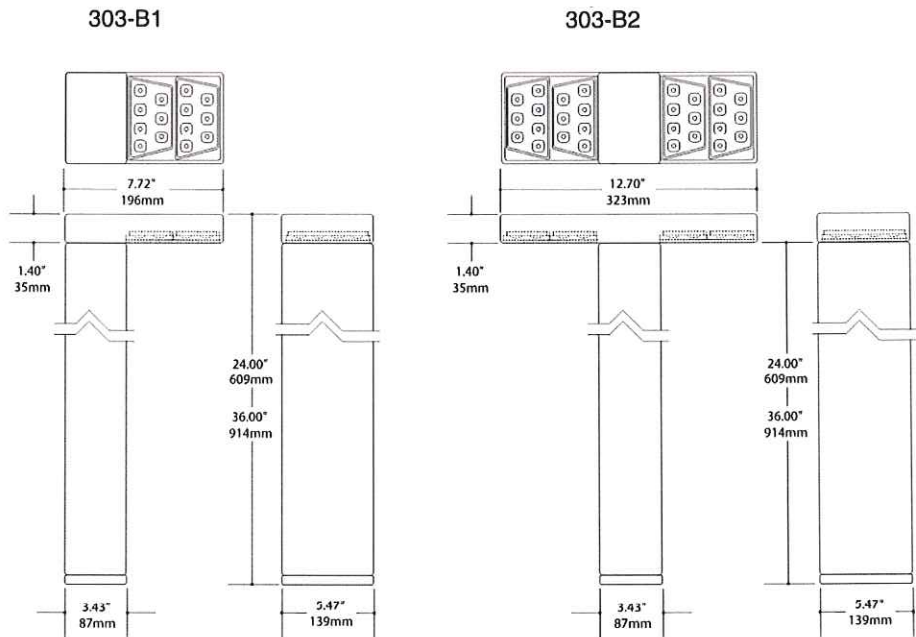
EON

303-B1 / 303-B2

15.5 W LED
31 W LED

LED
BOLLARD

IP66



LED INFORMATION

LED	Watts	Distribution	Total Lumens	CRI	°K	Life (hrs.)	Volts
LEDB2 - 2700 - T2	15.5	Type II - Lateral Throw	725	95	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 2700 - T4	15.5	Type IV - Forward Throw	709	85	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 2700 - T5X	15.5	Type V - Flood	626	65	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 3000 - T2	15.5	Type II - Lateral Throw		95	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 3000 - T4	15.5	Type IV - Forward Throw		85	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 3000 - T5X	15.5	Type V - Flood		65	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - T2	15.5	Type II - Lateral Throw	1209	95	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - T4	15.5	Type IV - Forward Throw	1181	85	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB2 - 4000 - T5X	15.5	Type V - Flood	1044	65	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T2	31	Type II - Lateral Throw	1436	95	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T4	31	Type IV - Forward Throw	1410	85	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 2700 - T5X	31	Type V - Flood	1247	65	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 3000 - T2	31	Type II - Lateral Throw		95	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 3000 - T4	31	Type IV - Forward Throw		85	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 3000 - T5X	31	Type V - Flood		65	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - T2	31	Type II - Lateral Throw	2393	95	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - T4	31	Type IV - Forward Throw	2350	85	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LEDB4 - 4000 - T5X	31	Type V - Flood	2078	65	4000	50000	Universal Input (120 - 277V, 50/60Hz)

NOTES AND FORMULAS

- Apply appropriate light loss factors where necessary.
- Photometry is LM-79 compliant.

ORDERING INFORMATION

Sample Number: 303 - B1 - LEDB1 - 3000 - UNV - T2 - BZ

Series	Color Temperature	Optics	Finish	Height	Options
303-B1 = LED single head bollard	2700 = 2700K	T2 = Type II, Lateral Throw	Painted	24=24" Height	EDGE = Edgelit Clear
303-B2 = LED dual head bollard	3000 = 3000K	T4 = Type IV, Forward Throw	BK = Black	36=36" Height	Tempered
	4000 = 4000K	T5X = Type V, Extra Wide Flood	BZ = Bronze		Glass Lens
		Consult factory for other optics	CS = City Silver		
			VE = Verde		
			WT = White		
			AP = Grey (Invue)		
			DP = Dark Platinum (Invue)		
			GM = Graphite Metallic (Invue)		
Quantity of Mini Lightbars	Input Voltage	Dimming			
LEDB2 = Light Emitting Diode, Rev B., Two Mini Lightbar (B1 only)	UNV = Universal 120 - 277V, 50/60Hz	DIMELV = Trailing Edge Phase Dimming Driver			
LEDB4 = Light Emitting Diode, Rev B., Four Mini Lightbars (B2 only)					

MASTERPLAN DATA											
BLDG	UNITS							PARKING			
	ST	1BR	1BR+	2BR	2BR+	TOTAL	BR'S	COVERED	SURFACE	TOTAL	RATIO
A1	3	15	9	14	3	44	58	44	26	70	1.59/UNIT
B1	3	17	13	16	3	52	68	52	32	84	1.62/UNIT
B2	4	19	15	15	3	56	70	53	31	84	1.50/UNIT
T.	10	51	37	45	9	152	196	149	89	238	1.57/UNIT
	6%	34%	24%	30%	6%						1.21/BR

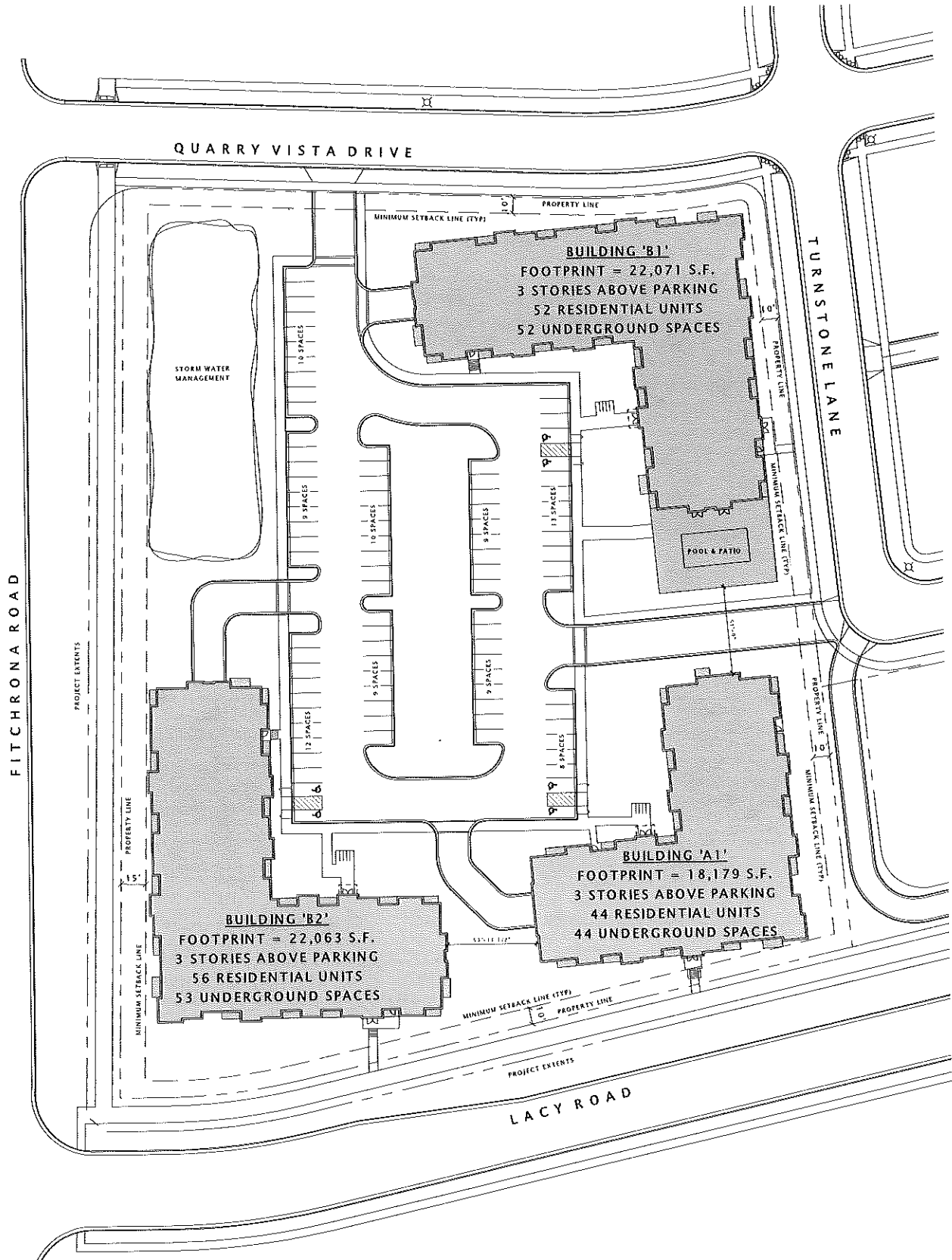
PARKING NOTES:
COVERED VEHICULAR & BICYCLE PARKING COUNTS ARE MINIMUM. SURFACE PARKING COUNTS ARE MAXIMUM. COVERED BICYCLE PARKING SHALL BE PROVIDED IN THE LOWER LEVEL BY INDIVIDUAL STORAGE LOCKERS OR WALL/CEILING HOOKS ABOVE AUTOMOBILE SPACES.

LANDSCAPING NOTES:
ALL LANDSCAPING ELEMENTS SHOWN ON THIS MASTERPLAN ARE CONCEPTUAL ONLY. SEE LANDSCAPE PLANS FOR INFORMATION AND DETAILS REGARDING THE ACTUAL LANDSCAPING FOR THIS PROJECT.

EXTERIOR SITE LIGHTING:
ALL EXTERIOR LIGHTING SHALL BE ESTABLISHED, DIRECTED, AND MAINTAINED SO AS NOT TO BE CAST DIRECTLY ON PUBLIC RIGHTS-OF-WAY OR NEIGHBORING PROPERTIES-- OR BE LIGHTED IN INTENSITY OR COLORS SERIOUSLY DISTURBING TO NEIGHBORING PROPERTIES (PER CITY OF FITCHBURG ZONING CODE SECTION 22-607 (B)10.)

SEE THE FOLLOWING SHEETS FOR ADDITIONAL SITE INFORMATION:
SHEET ASP101-A1 BUILDING 'A1'
SHEET ASP101-B1 BUILDING 'B1'
SHEET ASP101-B2 BUILDING 'B2'

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	31.40 Units/Acre	152 Units / 4.84 AC = 31.40
BUILDING COVERAGE	29.6% of Parcel	62,321 S.F. / 210,871 S.F. = 29.6%
FLOOR AREA RATIO	83.4% of Parcel	175,887 S.F. / 210,871 S.F. = 83.4%
IMPERVIOUS SURFACE	57.1% of Parcel	120,350 S.F. / 210,871 S.F. = 57.1%
LANDSCAPE AREA	42.9% of Parcel	90,521 S.F. / 210,871 S.F. = 42.9%



JLA

JOSEPH LEE ASSOCIATES
2415 CROSSBOWS DRIVE, SUITE 2300
MADISON, WISCONSIN 53718
PHONE: 608.233.0000

Fiduciary

REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN

apartments

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE

APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date
------	-------------	------

SHEET TITLE

ARCHITECTURAL SITE PLAN - OVERALL

SHEET NUMBER

ASP100



ELAN RESIDENTIAL DEVELOPMENT

Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN

BUILDING: A1

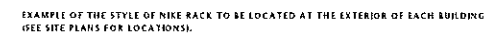
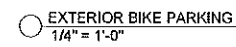
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JLA PROJECT NUMBER: 14-0515

APRIL 21, 2015



☐ EXTERIOR BIKE RACK STYLE
1/8" = 1'-0"



SPECIFIC IMPLEMENTATION PLAN

ELAN RESIDENTIAL
DEVELOPMENT

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DATE OF ISSUANCE	APRIL 21, 2015
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SHEET TITLE _____

SHEET NUMBER

ASP101-A1



FIDUCIARY REAL
ESTATE
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL
DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

BUILDING 'A1' LOWER
LEVEL PLAN

SHEET NUMBER

A100-A1

Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L2	2'-0"	2'-0"	UNAC Louver	FID	FID	WHITE ALU. W/ST.	Confirm size w/ UNAC Design-Build Contractor.
L4	4'-0"	2'-0"	UNAC Louver	FID	FID	WHITE ALU. W/ST.	Confirm size w/ UNAC Design-Build Contractor.
L6	6'-0"	2'-0"	UNAC Louver	FID	FID	WHITE ALU. W/ST.	Confirm size w/ UNAC Design-Build Contractor.

PUT IN WALL LOUVER, VERIFY
LOUVER MEET DESIGN-BUILD
MECHANICAL CONTRACTOR.
VERIFY OPENING REQUIREMENTS
WITH STRUCTURAL ENGINEER.

17 BUILDING 'A1' - LOWER LEVEL PLAN
3/32" = 1'-0"

NOTE: BUILDING TO BE FULLY SPANNED PER
2009 IBC, IBCA 18.05, AND IBCA 18.06.

WINDOW SCHEDULE									
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS U-FACTOR	SHGC	TYPE COMMENTS
A	3'-0"	6'-0"	Vinyl Double Hung - Single	Plastic Windows and Doors	6-06 5-00H	WHITE	0.32	0.26	22'-0" Unit Pattern A1 Window
B	3'-0"	6'-0"	Vinyl Double Hung - Double	Plastic Windows and Doors	6-06 6-00H	WHITE	0.32	0.26	22'-0" Unit Pattern A1 Window
C	6'-0"	6'-0"	Vinyl Double Hung - Twin	Plastic Windows and Doors	6-06 6-00H	WHITE	0.32	0.26	22'-0" Unit Pattern A1 Window
D	6'-0"	6'-0"	Vinyl Double Hung - Twin	Plastic Windows and Doors	6-06 6-00H	WHITE	0.32	0.26	22'-0" Unit Pattern A1 Window
E	6'-0"	6'-0"	Vinyl Double Hung - Triple	Plastic Windows and Doors	6-06 6-00H	WHITE	0.32	0.26	22'-0" Unit Pattern A1 Window
F	6'-0"	6'-0"	Double French Door - Hinged	Plastic Windows and Doors	6-06 6-00H	WHITE	0.32	0.26	22'-0" Unit Pattern A1 Window
G	6'-0"	6'-0"	Double French Door - Fixed	Plastic Windows and Doors	6-06 6-00H	WHITE	0.32	0.26	22'-0" Unit Pattern A1 Window
H	6'-0"	6'-0"	2-Panel Sliding Glass Door	Plastic Windows and Doors	6-06 6-00H	WHITE	0.32	0.26	22'-0" Unit Pattern A1 Window

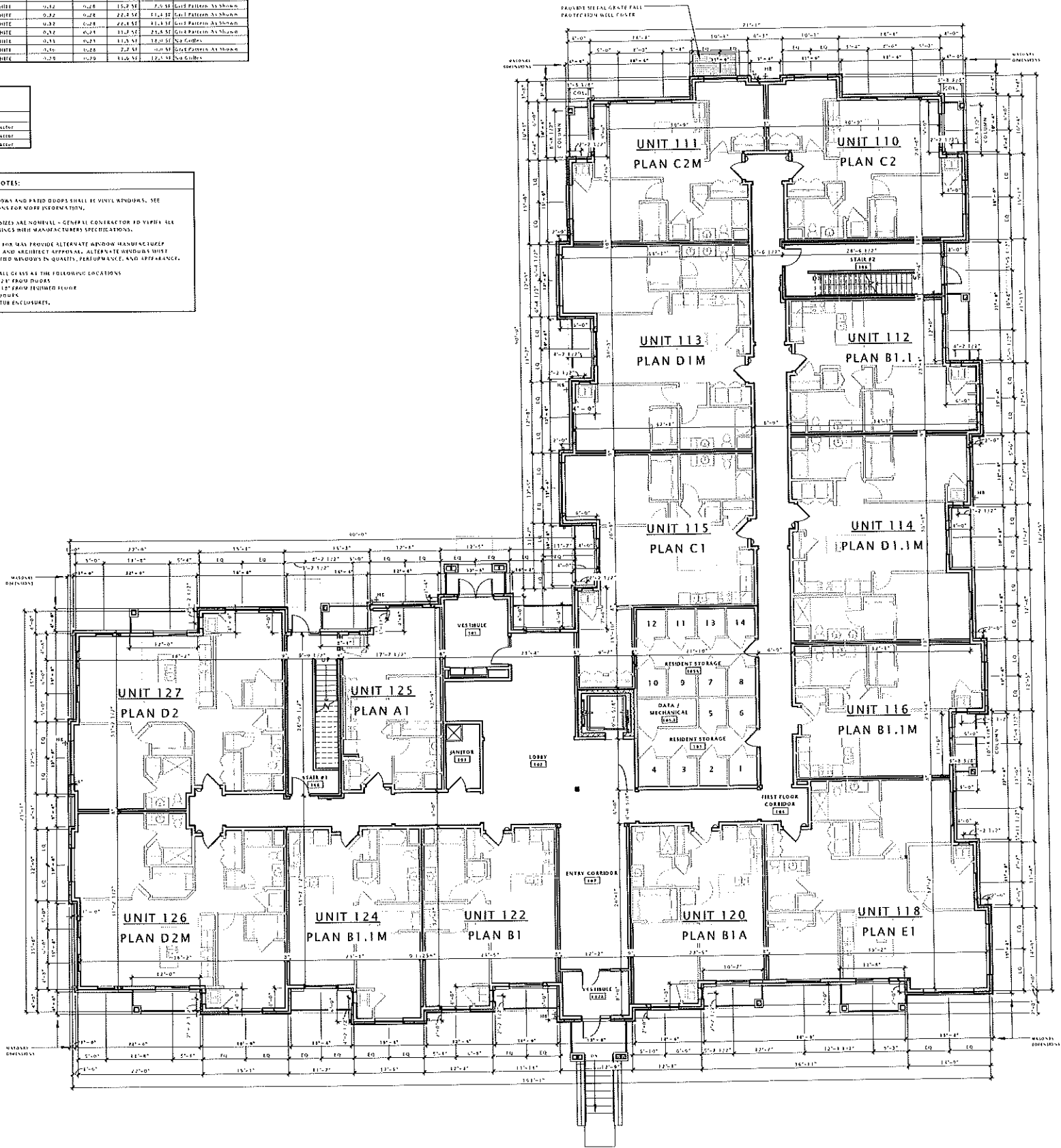
LOUVER SCHEDULE									
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments		
L1	2'-0"	8'-0"	HVAC Louver	TRD	TRD	WHITE/ADL MAT.	Custom Size w/ HVAC Design-Build Contractor		
L2	2'-0"	8'-0"	HVAC Louver	TRD	TRD	WHITE/ADL MAT.	Custom Size w/ HVAC Design-Build Contractor		
L3	2'-0"	8'-0"	HVAC Louver	TRD	TRD	WHITE/ADL MAT.	Custom Size w/ HVAC Design-Build Contractor		

BUILDING 'A1' - FIRST FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA

110	PLAN C2	850 SF
111	PLAN C2M	850 SF
112	PLAN B1.1	752 SF
113	PLAN D1.1M	1123 SF
114	PLAN C1	1011 SF
115	PLAN B1.1M	752 SF
116	PLAN E1	1307 SF
117	PLAN B1A	720 SF
118	PLAN B1	729 SF
119	PLAN B1.1M	752 SF
120	PLAN A1	574 SF
121	PLAN D2M	1182 SF
122	PLAN D2	1182 SF

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.2, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:	
1.	ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
2.	WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
3.	CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
4.	TEMPER ALL GLASS AT THE FOLLOWING LOCATIONS: - WITHIN 2' FROM DOORS - WITHIN 18" FROM EXTERIOR FLUKE - IN ALL DOORS - ABOVE TUB ENCLOSURES.



17 BUILDING 'A1' - FIRST FLOOR PLAN
3/32" = 1'-0"

NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC, APP. 9.1, AND APP. 9.1.1.

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2415 CROSSBOWS DRIVE SUITE 2100
MADISON, WISCONSIN 53718
608.261.0000

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL
ESTATE
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL
DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
BUILDING 'A1' FIRST
FLOOR PLAN

SHEET NUMBER
A101-A1

WINDOW SCHEDULE										
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS U-FACTOR	SHGC	DLO AREA	VENT AREA
A	3'-0"	6'-0"	Single Hung - Single	Phlox Windows and Doors	3-0W 6-0H	WHITE	0.32	0.25	13.5 SF	2.0 SF
B	3'-0"	6'-0"	Single Hung - Single	Phlox Windows and Doors	3-0W 6-0H	WHITE	0.32	0.25	13.5 SF	2.0 SF
C	3'-0"	6'-0"	Single Hung - Single	Phlox Windows and Doors	3-0W 6-0H	WHITE	0.32	0.25	13.5 SF	2.0 SF
D	3'-0"	6'-0"	Single Hung - Single	Phlox Windows and Doors	3-0W 6-0H	WHITE	0.32	0.25	13.5 SF	2.0 SF
E	3'-0"	6'-0"	Single Hung - Single	Phlox Windows and Doors	3-0W 6-0H	WHITE	0.32	0.25	13.5 SF	2.0 SF
F	3'-0"	6'-0"	Single Hung - Single	Phlox Windows and Doors	3-0W 6-0H	WHITE	0.32	0.25	13.5 SF	2.0 SF
G	3'-0"	6'-0"	Single Hung - Single	Phlox Windows and Doors	3-0W 6-0H	WHITE	0.32	0.25	13.5 SF	2.0 SF
H	3'-0"	6'-0"	Single Hung - Single	Phlox Windows and Doors	3-0W 6-0H	WHITE	0.32	0.25	13.5 SF	2.0 SF
I	3'-0"	6'-0"	Single Hung - Single	Phlox Windows and Doors	3-0W 6-0H	WHITE	0.32	0.25	13.5 SF	2.0 SF
J	3'-0"	6'-0"	Single Hung - Single	Phlox Windows and Doors	3-0W 6-0H	WHITE	0.32	0.25	13.5 SF	2.0 SF

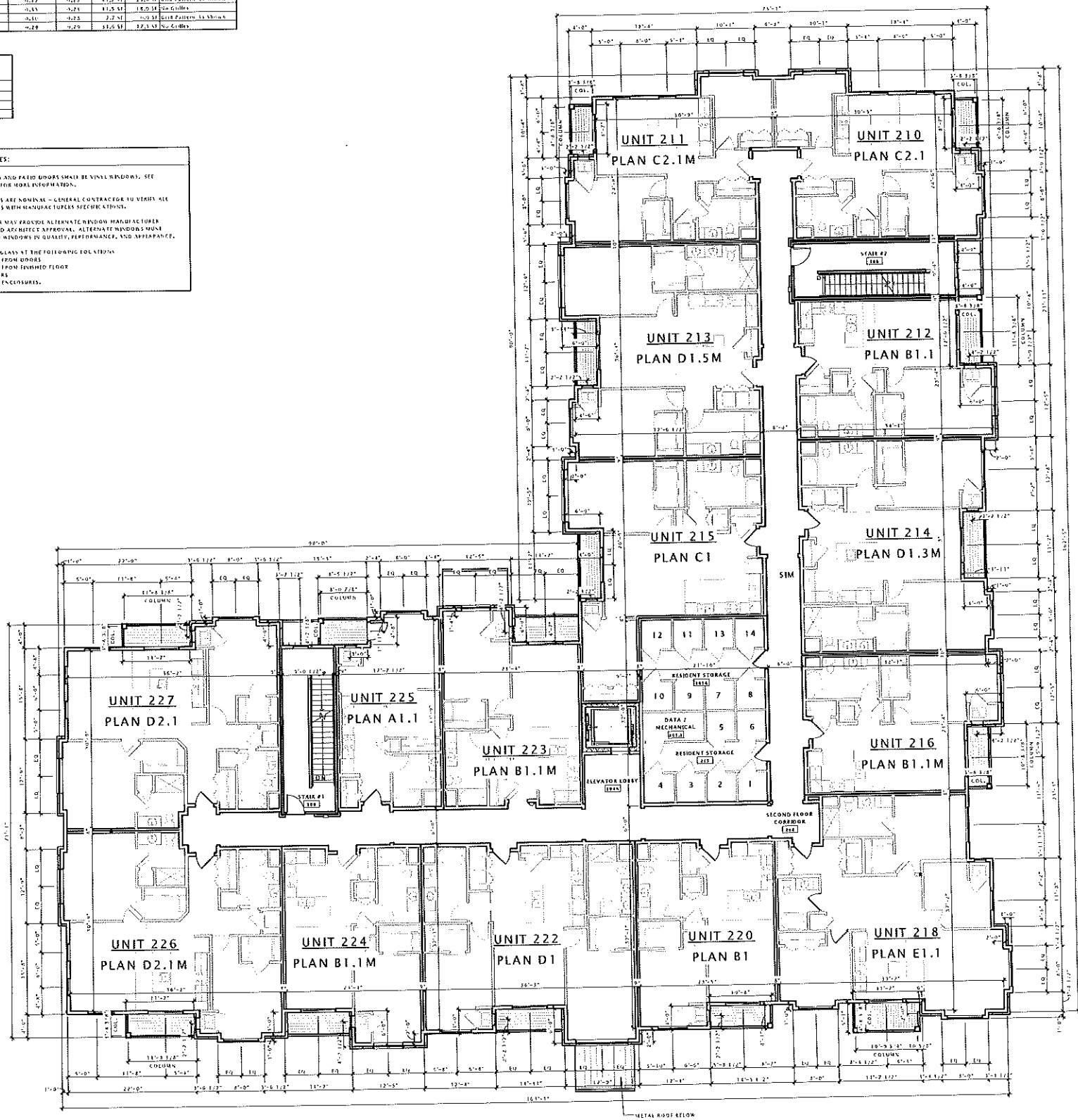
LOUVER SCHEDULE							
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L1	2'-0"	2'-0"	ALAC Louver	FED	FED	MATCH ABL MAT.	Confirm Size w/ HVAC Design-Build Contractor
L2	4'-0"	2'-0"	ALAC Louver	FED	FED	MATCH ABL MAT.	Confirm Size w/ HVAC Design-Build Contractor
L3	4'-0"	2'-0"	ALAC Louver	FED	FED	MATCH ABL MAT.	Confirm Size w/ HVAC Design-Build Contractor

BUILDING A1 - SECOND FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA

210	PLAN C2.1	858 SF
211	PLAN C2.1M	858 SF
212	PLAN B1.1	752 SF
213	PLAN D1.5M	1161 SF
214	PLAN D1.3M	1156 SF
215	PLAN C1	1011 SF
216	PLAN B1.1M	752 SF
218	PLAN E1.1	1331 SF
220	PLAN B1	729 SF
222	PLAN D1	1173 SF
223	PLAN B1.1M	752 SF
224	PLAN B1.1M	752 SF
225	PLAN A1.1	582 SF
226	PLAN D2.1M	1190 SF
227	PLAN D2.1	1190 SF
Grand total: 15		

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:	
1.	ALL WINDOWS AND PARTIAL WINDOWS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
2.	WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL WINDOW SIZES WITH MANUFACTURER SPECIFICATIONS.
3.	CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST BE EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
4.	TEMPERATURE GLASS AT THE FOLLOWING LOCATIONS: - WITHIN 24" FROM DOORS - WITHIN 14" FROM FINISHED FLOOR - IN ALL DOORS - ABOVE THE ENCLOSURES.



JLA
ARCHITECTS

JOSEPH IFF ASSOCIATES
2115 CROSSLAND DRIVE, SUITE 2000
Madison, Wisconsin 53713
TEL: 608.261.9900

JLA PROJECT NUMBER: 14-0515



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL DEVELOPMENT

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DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

BUILDING 'A1'
SECOND FLOOR PLAN

SHEET NUMBER

A102-A1



NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC, NFPA 13, AND NFPA 13A.

WINDOW SCHEDULE										
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Window	ENERGY ANALYSIS	DLO AREA	VENT AREA
A	3'-0"	6'-0"	Single Hung - Single	Pilger Windows and Doors	1-100 5-100	WHITE	0.32	0.28	13.5 SF	2.0 SF
B	3'-0"	6'-0"	Double Hung - Single	Pilger Windows and Doors	1-100 5-100	WHITE	0.32	0.28	13.5 SF	2.0 SF
C	3'-0"	6'-0"	Double Hung - Double	Pilger Windows and Doors	1-100 5-100	WHITE	0.32	0.28	13.5 SF	2.0 SF
D	3'-0"	6'-0"	Double Hung - Double	Pilger Windows and Doors	1-100 5-100	WHITE	0.32	0.28	13.5 SF	2.0 SF
E	3'-0"	6'-0"	Double Hung - Double	Pilger Windows and Doors	1-100 5-100	WHITE	0.32	0.28	13.5 SF	2.0 SF
F	3'-0"	6'-0"	Double Hung - Double	Pilger Windows and Doors	1-100 5-100	WHITE	0.32	0.28	13.5 SF	2.0 SF
G	3'-0"	6'-0"	Double Hung - Double	Pilger Windows and Doors	1-100 5-100	WHITE	0.32	0.28	13.5 SF	2.0 SF
H	3'-0"	6'-0"	Double Hung - Double	Pilger Windows and Doors	1-100 5-100	WHITE	0.32	0.28	13.5 SF	2.0 SF

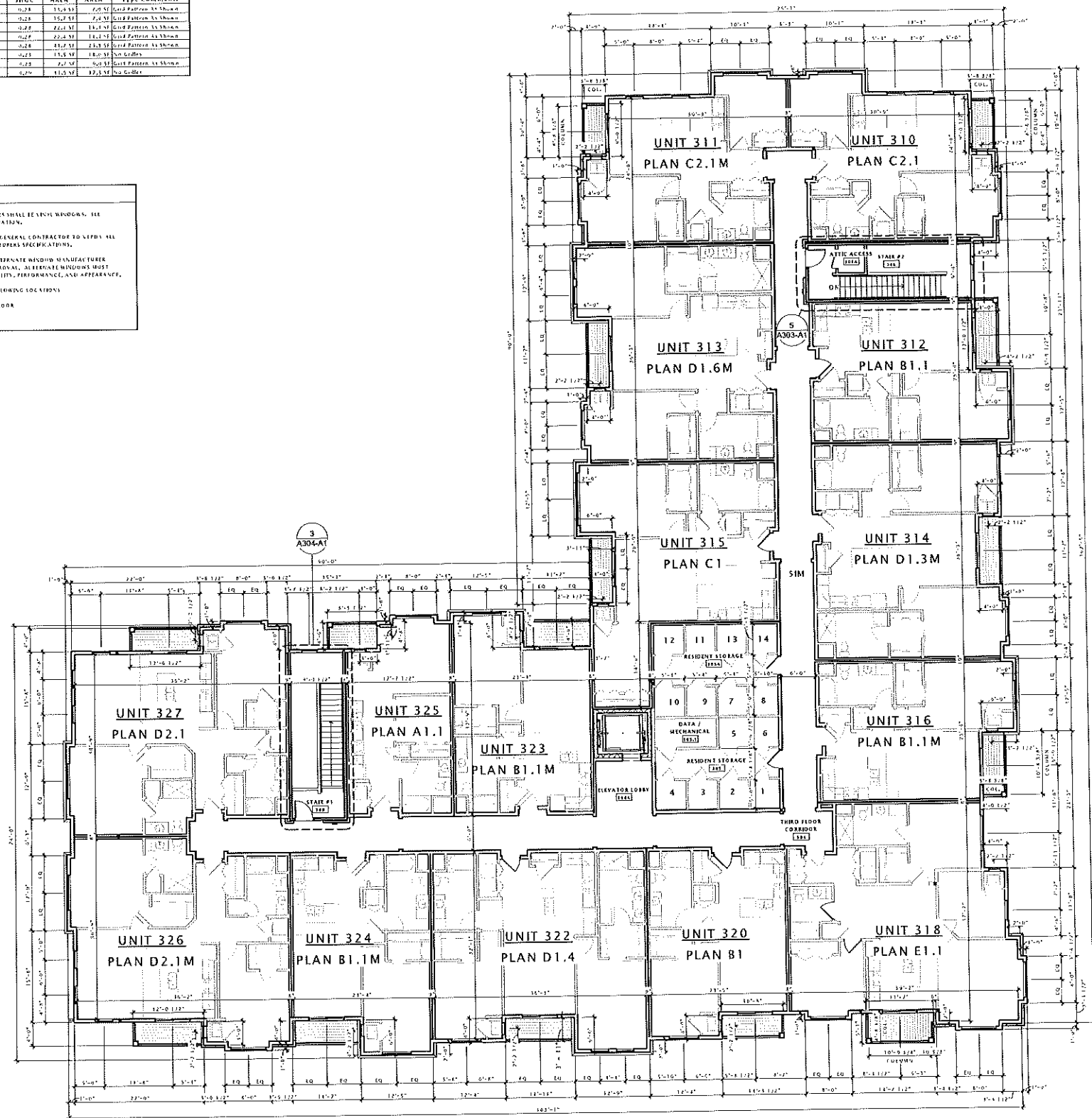
LOUVER SCHEDULE							
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L2	2'-0"	2'-0"	WAC Louver	TRD	TRD	WAC Louver	Confirm size w/ HVAC Design/Field Contractor
L4	4'-0"	4'-0"	WAC Louver	TRD	TRD	WAC Louver	Confirm size w/ HVAC Design/Field Contractor
L6	6'-0"	6'-0"	WAC Louver	TRD	TRD	WAC Louver	Confirm size w/ HVAC Design/Field Contractor

BUILDING 'A1' - THIRD FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
310	PLAN C2.1	858 SF
311	PLAN C2.1M	858 SF
312	PLAN B1.1	752 SF
313	PLAN D1.6M	1181 SF
314	PLAN D1.3M	1156 SF
315	PLAN C1	1011 SF
316	PLAN B1.1M	752 SF
318	PLAN E1.1	1331 SF
320	PLAN B1	729 SF
322	PLAN D1.4	1175 SF
323	PLAN B1.1M	752 SF
324	PLAN B1.1M	752 SF
325	PLAN A1.1	582 SF
326	PLAN D2.1M	1190 SF
327	PLAN D2.1	1190 SF
Grand total: 15		

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, B1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.2, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

1. ALL WINDOWS AND PARTIAL DOORS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
2. WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER SPECIFICATIONS.
3. CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
4. TEMPER ALL GLASS AT THE FOLLOWING LOCATIONS:
 - WITHIN 24" FROM DOORS
 - WITHIN 12" FROM FINISHED FLOOR
 - BY ALL DOORS
 - ABOVE THE ENCLOSURES



17 BUILDING 'A1' - THIRD FLOOR PLAN
3/32" = 1'-0"

JLA
ARCHITECTS - DESIGN

JOSEPH LEE ASSOCIATES
2415 CAPPS ROAD SUITE 2100
MADISON, WISCONSIN 53718
TEL: 608.233.2500

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL
ESTATE
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL
DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE
BUILDING 'A1' THIRD
FLOOR PLAN

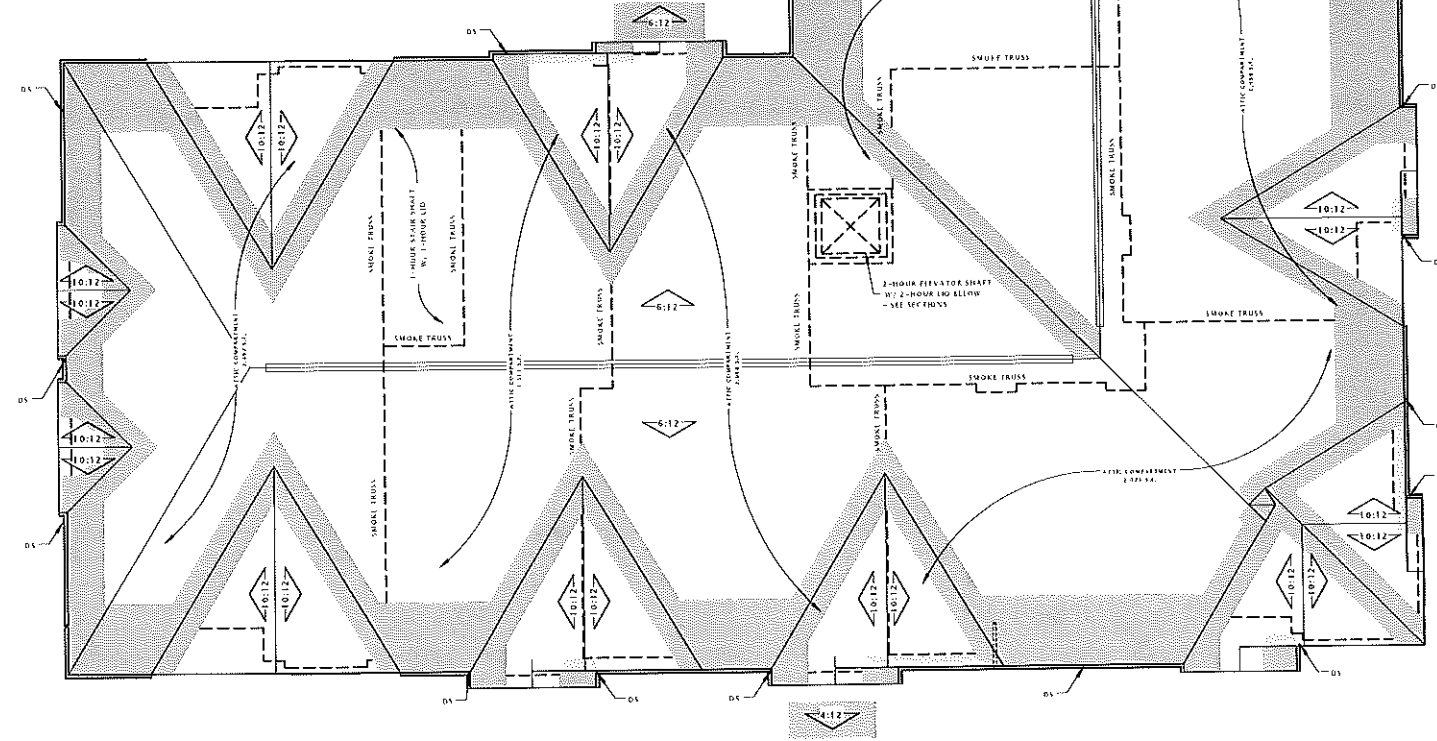
SHEET NUMBER
A103-A1



NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC, NFPA 13, AND NFPA 13A.

ROOF NOTES

- 1) ROOF SHALL BE **ROOF ASSEMBLY - W1** UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE FITTED AS INDICATED ON ROOF PLAN. SEE ROOF ASSEMBLY SHEET FOR DETAILED INFORMATION.
- 2) AT CANOPY ROOF AREAS: PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF SUBSTRATE TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS/SCUPPER OPENINGS.
- 3) ROOF DRAINS/SCUPPERS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN/BUILD CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- 4) RIDGE VENTS SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE INTAKE & EXHAUST ROOF VENTS TO PROVIDE 1 S.F. OF VENT AREA PER 300 S.F. OF ATTIC AREA (PER ATTIC COMPARTMENT). OWNER'S DESIGN/BUILD MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
- 5) OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
- 6) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADED AREAS ON ROOF PLAN):
ALL EAVES:
 RUN FROM EDGE OF EAVE TO 3'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.
ALL VALLEYS:
 RUN FROM VALLEY TO 3'-0" (MIN.) EACH SIDE OF VALLEY. INSTALL UNDER METAL FLASHINGS AT VALLEYS.
ALL ROOF/WALL INTERSECTIONS:
 RUN 3'-0" (MIN.) HORIZONTALLY FROM FACE OF WALL RUN 1'-0" (MIN.) VERTICALLY UP FACE OF WALL.
ALL ROOF PENETRATIONS:
 RUN 3'-0" (MIN.) FROM PENETRATIONS
- 7) PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFITS AND ALL PENETRATIONS SHALL BE CAULKED.
- 8) PROVIDE 'W' SHAPED METAL FLASHING AT ALL VALLEYS.
- 9) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS. DESIGN/BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
- 10) VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/BUILD MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- 11) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 12) PROVIDE 5" X' STYLE OR 'OG' STYLE PREFINISHED ALUMINUM RAIN GUTTERS AND 3"x4" CORRUGATED RECTANGULAR PREFINISHED ALUMINUM DOWNSPOUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SIZING REQUIREMENTS.
- 13) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS, AND ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.



17 BUILDING 'A1' - ROOF PLAN
3/32" = 1'-0"

SCALE: BUILDING TO BE FULLY TRANSLATED PER
SAYO-BL & ASSOC. INC. AD-1000-1174



JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2415 CROSS ST. SUITE 2100
MADISON, WISCONSIN 53718
TEL: 608.261.0200 FAX: 608.261.0200

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL
ESTATE
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments
ELAN RESIDENTIAL
DEVELOPMENT

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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
BUILDING 'A1' ROOF
PLAN

SHEET NUMBER
A109-A1



⑥ SOUTH ELEVATION - A1
1/8" = 1'-0"



⑩ NORTH ELEVATION - A1
1/8" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2110 CROSSROADS DRIVE, SUITE 2100
MILWAUKEE, WISCONSIN 53218
TEL: 414.221.2500

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

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SHEET TITLE

EXTERIOR ELEVATIONS
'A1' BUILDING

SHEET NUMBER

A200-A1

PROGRESS DOCUMENTS

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Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
'A1' BUILDING

SHEET NUMBER

A201-A1



⑥ EAST ELEVATION - A1
1/8" = 1'-0"



①⑥ WEST ELEVATION - A1
1/8" = 1'-0"



ELAN RESIDENTIAL DEVELOPMENT

Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN

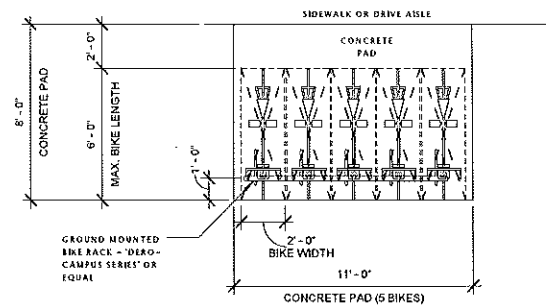
BUILDING: B1

PROGRESS DOCUMENTS

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JLA PROJECT NUMBER: 14-0515

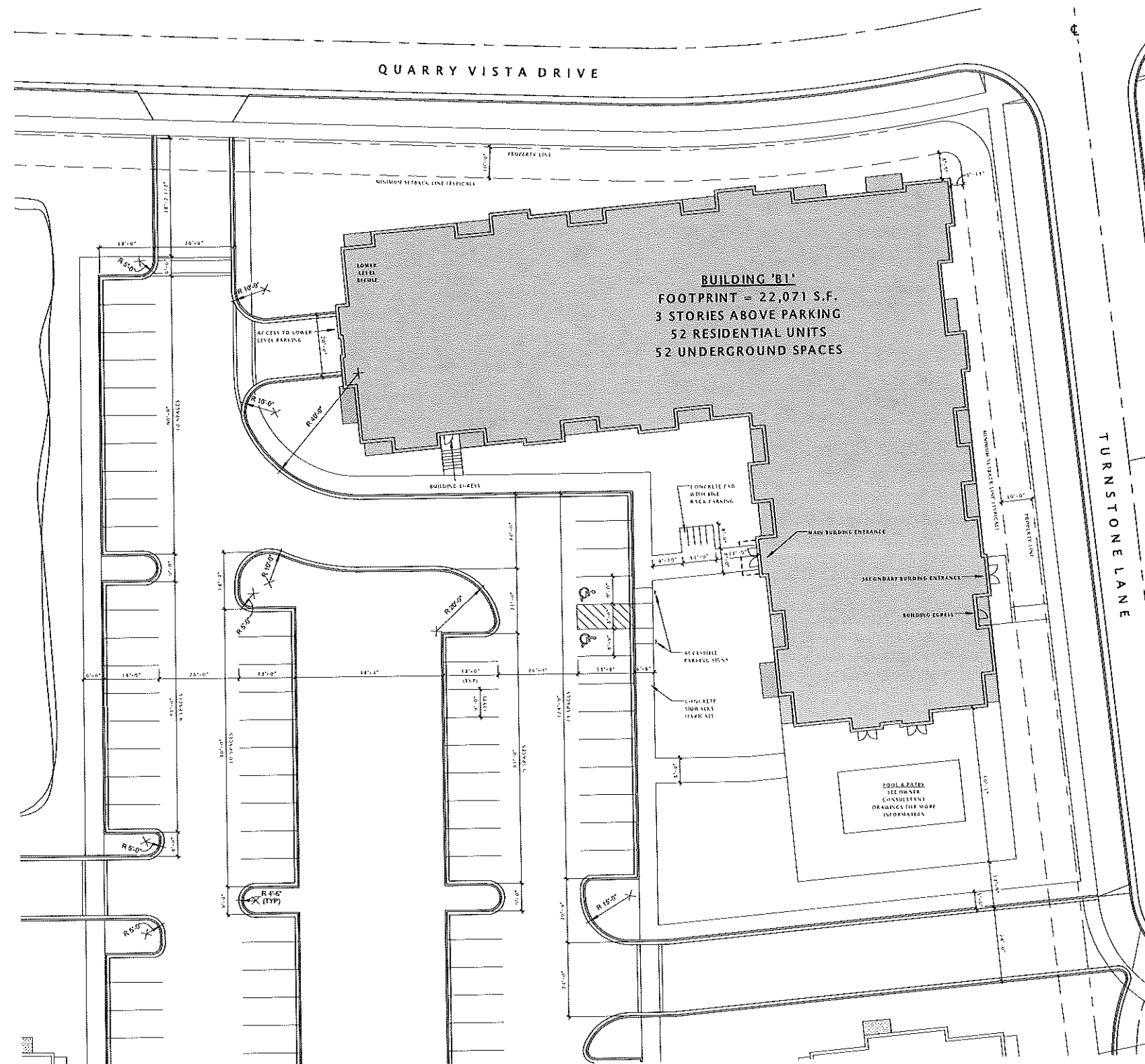
APRIL 21, 2015



○ EXTERIOR BIKE PARKING
1/4" = 1'-0"



○ EXTERIOR BIKE RACK STYLE
1/8" = 1'-0"



17 ARCHITECTURAL SITE PLAN - 'B1' BLDG
1" = 20'-0"

JLA
JOSEPH LEFF ASSOCIATES

JOSEPH LEFF ASSOCIATES
2410 CHASSAIGNON DRIVE SUITE 2000
HOUSTON, TEXAS 77058
713.231.2500

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL
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DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

ARCHITECTURAL SITE
PLAN - BUILDING 'B1'

SHEET NUMBER

ASP101-B1



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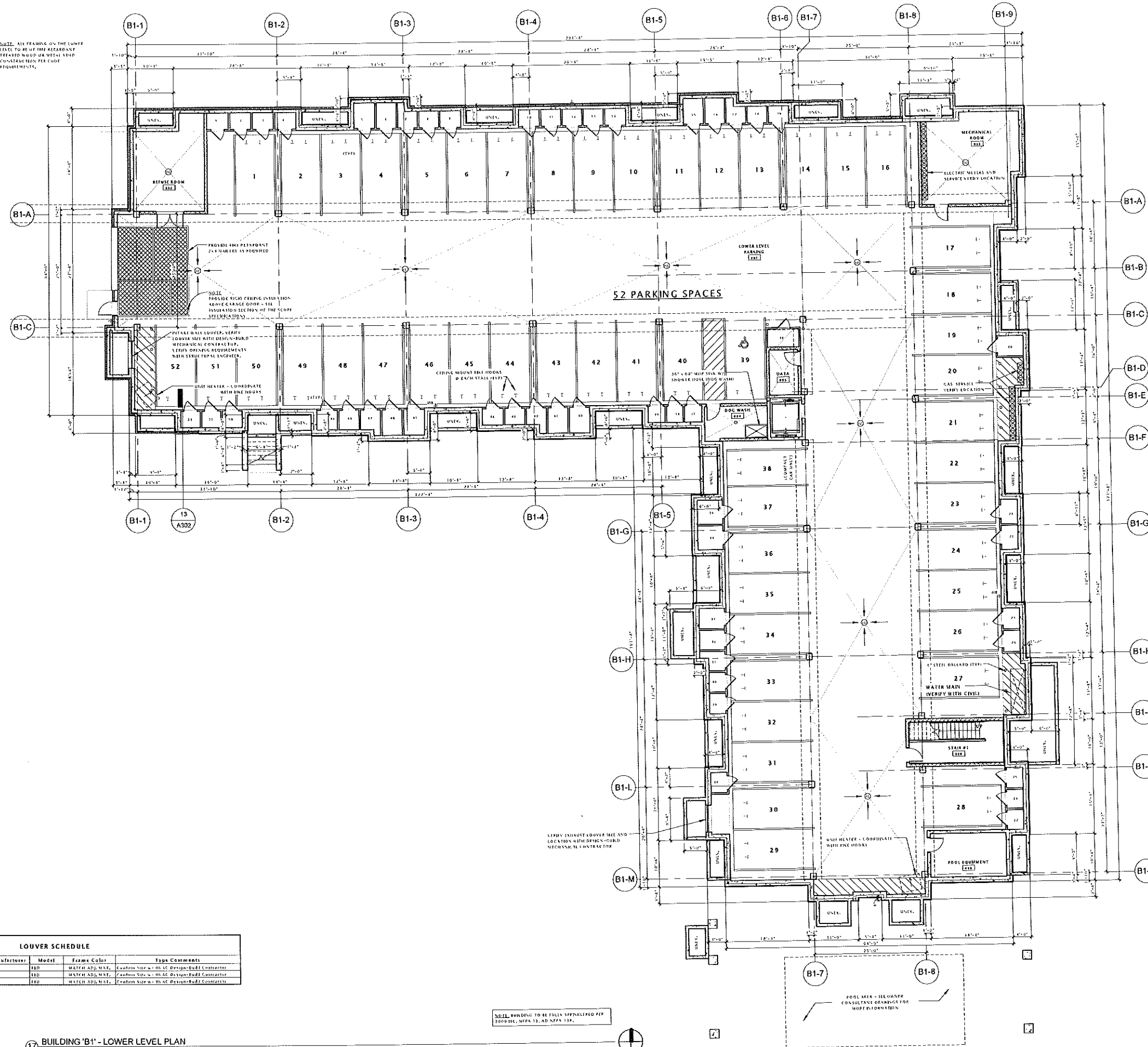
SHEET TITLE

BUILDING 'B1' LOWER
LEVEL PLAN

SHEET NUMBER

A100-B1

NOTE: ALL FRAMING ON THE LOWER LEVEL TO BE UP TO THE REARFLOOR TYPICAL WALL OR OTHER STUD CONSTRUCTION PER CODE REQUIREMENTS.



Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
12	2'-0"	4'-0"	Aluminum Louver	TED	110	MATCH ADJ. MAT.	Confirm Size w/ Hvac Design/Build Contractor
13	2'-0"	4'-0"	Aluminum Louver	TED	110	MATCH ADJ. MAT.	Confirm Size w/ Hvac Design/Build Contractor
14	2'-0"	4'-0"	Aluminum Louver	TED	110	MATCH ADJ. MAT.	Confirm Size w/ Hvac Design/Build Contractor

NOTE: BUILDING TO BE FULLY SPARKLEED PER 2009 IBC, NFPA 13, AND NFPA 13B.

11 BUILDING 'B1' - LOWER LEVEL PLAN
3/32" = 1'-0"



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN



ELAN RESIDENTIAL DEVELOPMENT

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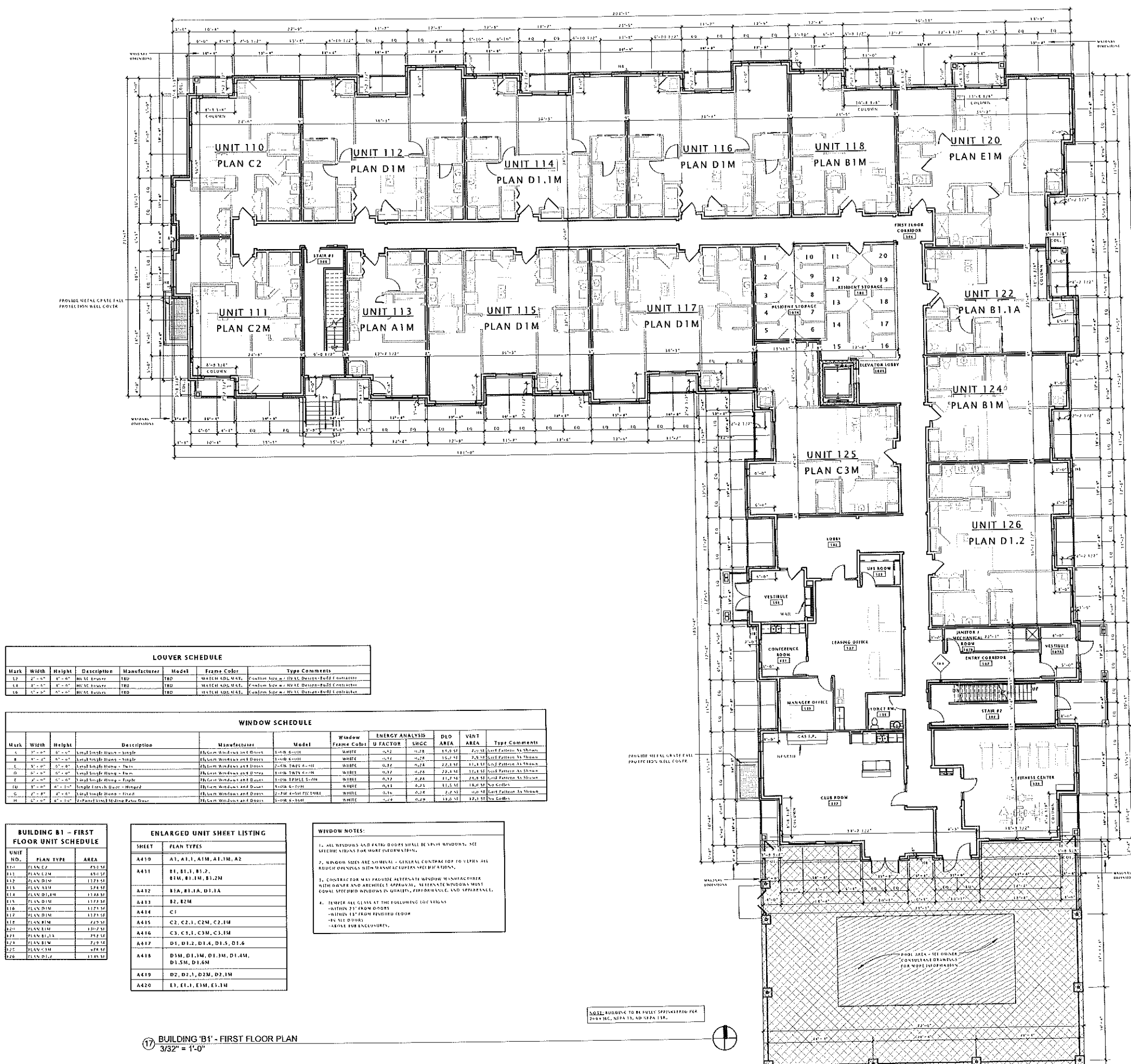
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

BUILDING 'B1' FIRST FLOOR PLAN

SHEET NUMBER

A101-B1



LOUVER SCHEDULE						
Mark	Width	Height	Description	Manufacturer	Model	Type Comments
L1	2'-0"	4'-0"	WATER APP. W/AL.	TBD	TBD	Custom Size w/ JLAAL Details - Build 1 Unit Only
L2	2'-0"	4'-0"	WATER APP. W/AL.	TBD	TBD	Custom Size w/ JLAAL Details - Build 1 Unit Only
L3	2'-0"	4'-0"	WATER APP. W/AL.	TBD	TBD	Custom Size w/ JLAAL Details - Build 1 Unit Only

WINDOW SCHEDULE									
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS	DLO AREA	VENT AREA
W1	3'-0"	4'-0"	Single Hung - Triple	Phantom Windows and Doors	3-PH. 6000	WHITE	U-FACTOR: 0.27, SHGC: 0.28	11.5 SF	2.0 SF
W2	3'-0"	4'-0"	Single Hung - Triple	Phantom Windows and Doors	3-PH. 6000	WHITE	U-FACTOR: 0.27, SHGC: 0.28	11.5 SF	2.0 SF
W3	3'-0"	4'-0"	Single Hung - Triple	Phantom Windows and Doors	3-PH. 6000	WHITE	U-FACTOR: 0.27, SHGC: 0.28	11.5 SF	2.0 SF
W4	3'-0"	4'-0"	Single Hung - Triple	Phantom Windows and Doors	3-PH. 6000	WHITE	U-FACTOR: 0.27, SHGC: 0.28	11.5 SF	2.0 SF
W5	3'-0"	4'-0"	Single Hung - Triple	Phantom Windows and Doors	3-PH. 6000	WHITE	U-FACTOR: 0.27, SHGC: 0.28	11.5 SF	2.0 SF
W6	3'-0"	4'-0"	Single Hung - Triple	Phantom Windows and Doors	3-PH. 6000	WHITE	U-FACTOR: 0.27, SHGC: 0.28	11.5 SF	2.0 SF
W7	3'-0"	4'-0"	Single Hung - Triple	Phantom Windows and Doors	3-PH. 6000	WHITE	U-FACTOR: 0.27, SHGC: 0.28	11.5 SF	2.0 SF
W8	3'-0"	4'-0"	Single Hung - Triple	Phantom Windows and Doors	3-PH. 6000	WHITE	U-FACTOR: 0.27, SHGC: 0.28	11.5 SF	2.0 SF
W9	3'-0"	4'-0"	Single Hung - Triple	Phantom Windows and Doors	3-PH. 6000	WHITE	U-FACTOR: 0.27, SHGC: 0.28	11.5 SF	2.0 SF
W10	3'-0"	4'-0"	Single Hung - Triple	Phantom Windows and Doors	3-PH. 6000	WHITE	U-FACTOR: 0.27, SHGC: 0.28	11.5 SF	2.0 SF

BUILDING 'B1' - FIRST FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
110	PLAN C2	252 SF
111	PLAN C2M	451 SF
112	PLAN D1M	1175 SF
113	PLAN A1M	574 SF
114	PLAN D1.1M	1129 SF
115	PLAN D1M	1175 SF
116	PLAN D1M	1175 SF
117	PLAN D1M	1175 SF
118	PLAN B1M	1129 SF
119	PLAN B1.1A	1129 SF
120	PLAN B1M	1129 SF
121	PLAN B1.1A	1129 SF
122	PLAN B1M	1129 SF
123	PLAN B1.1A	1129 SF
124	PLAN B1M	1129 SF
125	PLAN C3M	1129 SF
126	PLAN D1.2	1129 SF

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.2, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL WINDOW SIZES WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. REFER TO WINDOW SCHEDULE FOR SPECIFIED WINDOW SIZES, PERFORMANCE, AND APPEARANCE.
- TEMPER ALL GLASS AT THE FOLLOWING LOCATIONS:
 - WITHIN 2' FROM DOORS
 - WITHIN 1' FROM FINISHED FLOOR
 - IN ALL OTHERS
 - ADJACENT TO ENCLOSURES

NOTE: BUILDING TO BE FULLY SPRINKLERED PER 2009 IBC, NFPA 13, AND NFPA 13R.

FIDUCIARY REAL
ESTATE
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN RESIDENTIAL
DEVELOPMENT

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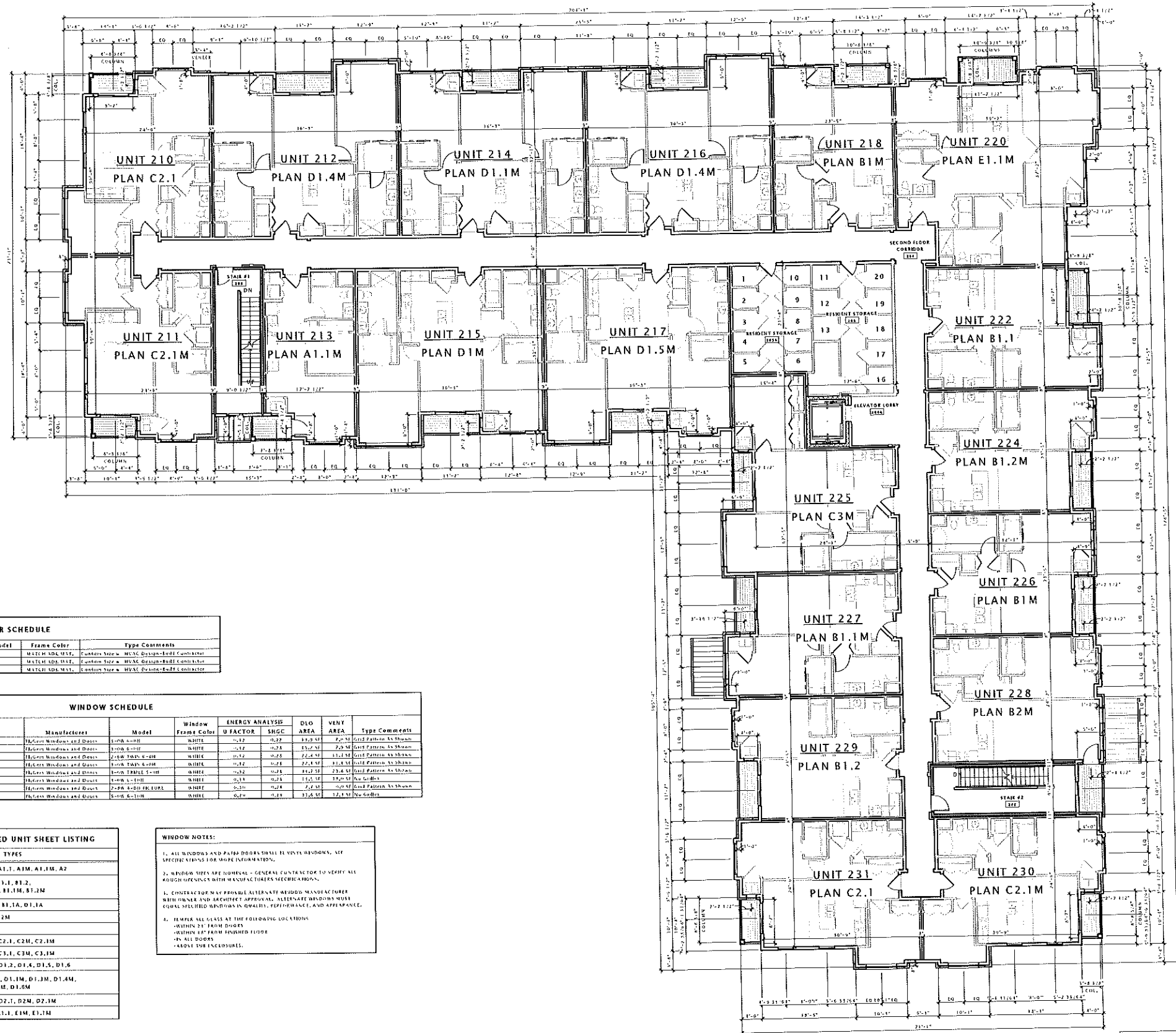
Mark	Description	Date

SHEET TITLE

BUILDING 'B1' SECOND
FLOOR PLAN

SHEET NUMBER

A102-B1



LOUVER SCHEDULE							
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L2	2'-0"	4'-0"	ALUM. LOUVER	FED	FED	WHITE	Custom Shop - HVAC Design-Build Contractor
L4	4'-0"	4'-0"	ALUM. LOUVER	FED	FED	WHITE	Custom Shop - HVAC Design-Build Contractor
L6	6'-0"	4'-0"	ALUM. LOUVER	FED	FED	WHITE	Custom Shop - HVAC Design-Build Contractor

WINDOW SCHEDULE										
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS U FACTOR	SHGC	GLA AREA	VENT AREA
W1	3'-0"	4'-0"	Single Hung - Single	Hickok Windows and Doors	3-06 4-00	WHITE	0.22	0.22	12.0 SF	2.0 SF
W2	3'-0"	4'-0"	Single Hung - Single	Hickok Windows and Doors	3-06 4-00	WHITE	0.22	0.22	12.0 SF	2.0 SF
W3	3'-0"	4'-0"	Single Hung - Double	Hickok Windows and Doors	3-06 4-00	WHITE	0.22	0.22	24.0 SF	4.0 SF
W4	3'-0"	4'-0"	Single Hung - Double	Hickok Windows and Doors	3-06 4-00	WHITE	0.22	0.22	24.0 SF	4.0 SF
W5	3'-0"	4'-0"	Single Hung - Triple	Hickok Windows and Doors	3-06 4-00	WHITE	0.22	0.22	36.0 SF	6.0 SF
W6	3'-0"	4'-0"	Single Hung - Double	Hickok Windows and Doors	3-06 4-00	WHITE	0.22	0.22	24.0 SF	4.0 SF
W7	3'-0"	4'-0"	Single Hung - Double	Hickok Windows and Doors	3-06 4-00	WHITE	0.22	0.22	24.0 SF	4.0 SF
W8	3'-0"	4'-0"	Single Hung - Double	Hickok Windows and Doors	3-06 4-00	WHITE	0.22	0.22	24.0 SF	4.0 SF
W9	3'-0"	4'-0"	Single Hung - Double	Hickok Windows and Doors	3-06 4-00	WHITE	0.22	0.22	24.0 SF	4.0 SF
W10	3'-0"	4'-0"	Single Hung - Double	Hickok Windows and Doors	3-06 4-00	WHITE	0.22	0.22	24.0 SF	4.0 SF

BUILDING 'B1' - SECOND FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
210	PLAN C2.1	858 SF
211	PLAN C2.1M	858 SF
212	PLAN D1.4M	1173 SF
213	PLAN A1.1M	582 SF
214	PLAN D1.1M	1148 SF
215	PLAN D1M	1173 SF
216	PLAN D1.4M	1173 SF
217	PLAN D1.5M	1181 SF
218	PLAN B1M	725 SF
220	PLAN E1.1M	1531 SF
222	PLAN B1.1	752 SF
224	PLAN B1.2M	737 SF
225	PLAN C3M	974 SF
226	PLAN B1M	725 SF
227	PLAN B1.1M	752 SF
228	PLAN B2M	823 SF
229	PLAN B1.2	737 SF
230	PLAN C2.1M	858 SF
231	PLAN C2.1	858 SF

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, B1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.4, D1.4M, D1.5M, D1.5M
A418	D1M, D1.1M, D1.1M, D1.4M, D1.5M, D1.5M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:	
1.	ALL WINDOWS AND PATIO DOORS SHALL BE VENT WINDOWS, SEE SPECIFICATIONS FOR MORE INFORMATION.
2.	WINDOW TYPES ARE INDICATED - GENERAL CONTRACTOR TO VERIFY ALL WINDOW TYPES WITH MANUFACTURER'S SPECIFICATIONS.
3.	GENERAL CONTRACTOR TO PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
4.	TEMPER ALL GLASS AT THE FOLLOWING LOCATIONS: - WITHIN 24" FROM DOORS - WITHIN 48" FROM INSULATED FLOORS - IN ALL DOORS - ABOVE THE ENCLOSURES.

FIDUCIARY REAL
ESTATE
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN RESIDENTIAL
DEVELOPMENT

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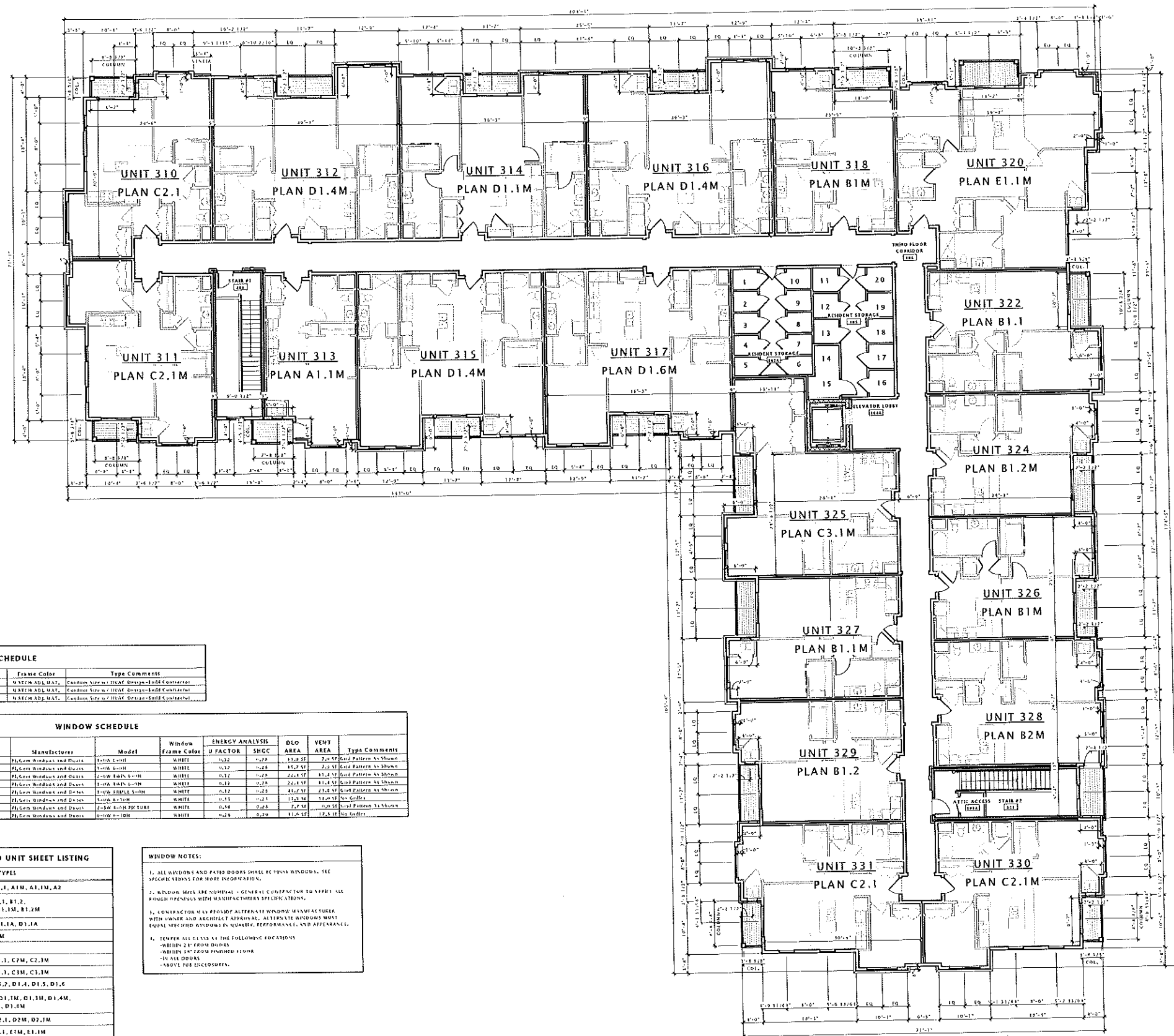
Mark	Description	Date

SHEET TITLE

BUILDING 'B1' THIRD
FLOOR PLAN

SHEET NUMBER

A103-B1



LOUVER SCHEDULE

Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L1	2'-0"	2'-0"	ALUM. Louver	TBD	TBD	WHITE	Condition: New - HEAT DESIGN (BOLD CONTRACT)
L2	4'-0"	4'-0"	ALUM. Louver	TBD	TBD	WHITE	Condition: New - HEAT DESIGN (BOLD CONTRACT)
L3	6'-0"	6'-0"	ALUM. Louver	TBD	TBD	WHITE	Condition: New - HEAT DESIGN (BOLD CONTRACT)

WINDOW SCHEDULE

Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS	DIG AREA	VENT AREA	Type Comments
W1	2'-0"	2'-0"	Single Hung - Single	Phlox Windows and Doors	2000 L-100	WHITE	U-FACTOR: 0.32 SHGC: 0.25	15.0 SF	2.0 SF	2nd Floor Pattern As Shown
W2	2'-0"	2'-0"	Single Hung - Single	Phlox Windows and Doors	2000 L-100	WHITE	U-FACTOR: 0.32 SHGC: 0.25	15.0 SF	2.0 SF	2nd Floor Pattern As Shown
W3	2'-0"	2'-0"	Single Hung - Single	Phlox Windows and Doors	2000 L-100	WHITE	U-FACTOR: 0.32 SHGC: 0.25	15.0 SF	2.0 SF	2nd Floor Pattern As Shown
W4	2'-0"	2'-0"	Single Hung - Single	Phlox Windows and Doors	2000 L-100	WHITE	U-FACTOR: 0.32 SHGC: 0.25	15.0 SF	2.0 SF	2nd Floor Pattern As Shown
W5	2'-0"	2'-0"	Single Hung - Single	Phlox Windows and Doors	2000 L-100	WHITE	U-FACTOR: 0.32 SHGC: 0.25	15.0 SF	2.0 SF	2nd Floor Pattern As Shown
W6	2'-0"	2'-0"	Single Hung - Single	Phlox Windows and Doors	2000 L-100	WHITE	U-FACTOR: 0.32 SHGC: 0.25	15.0 SF	2.0 SF	2nd Floor Pattern As Shown
W7	2'-0"	2'-0"	Single Hung - Single	Phlox Windows and Doors	2000 L-100	WHITE	U-FACTOR: 0.32 SHGC: 0.25	15.0 SF	2.0 SF	2nd Floor Pattern As Shown
W8	2'-0"	2'-0"	Single Hung - Single	Phlox Windows and Doors	2000 L-100	WHITE	U-FACTOR: 0.32 SHGC: 0.25	15.0 SF	2.0 SF	2nd Floor Pattern As Shown
W9	2'-0"	2'-0"	Single Hung - Single	Phlox Windows and Doors	2000 L-100	WHITE	U-FACTOR: 0.32 SHGC: 0.25	15.0 SF	2.0 SF	2nd Floor Pattern As Shown
W10	2'-0"	2'-0"	Single Hung - Single	Phlox Windows and Doors	2000 L-100	WHITE	U-FACTOR: 0.32 SHGC: 0.25	15.0 SF	2.0 SF	2nd Floor Pattern As Shown

BUILDING 'B1' - THIRD
FLOOR UNIT SCHEDULE

UNIT NO.	PLAN TYPE	AREA
310	PLAN C2.1	858 SF
311	PLAN C2.1M	858 SF
312	PLAN D1.4M	1173 SF
313	PLAN A1.1M	582 SF
314	PLAN D1.1M	1148 SF
315	PLAN D1.4M	1173 SF
316	PLAN D1.4M	1173 SF
317	PLAN D1.6M	1181 SF
318	PLAN B1M	729 SF
319	PLAN E1.1M	1331 SF
320	PLAN B1.1	752 SF
321	PLAN B1.2M	752 SF
322	PLAN C3.1M	924 SF
323	PLAN B1M	729 SF
324	PLAN B1.1M	752 SF
325	PLAN B2M	823 SF
326	PLAN B1.2	737 SF
327	PLAN C2.1M	858 SF
328	PLAN C2.1	858 SF

ENLARGED UNIT SHEET LISTING

SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.2, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

- ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFIC NOTES FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL FINISH OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR WILL PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL VEEHED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.
- TEMPER ALL GLASS AT THE FOLLOWING LOCATIONS:
 - WITHIN 24" FROM DOORS
 - WITHIN 18" FROM FINISHED FLOOR
 - IN ALL DOORS
 - ABOVE FOR ENCLOSURES



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PROGRESS DOCUMENTS

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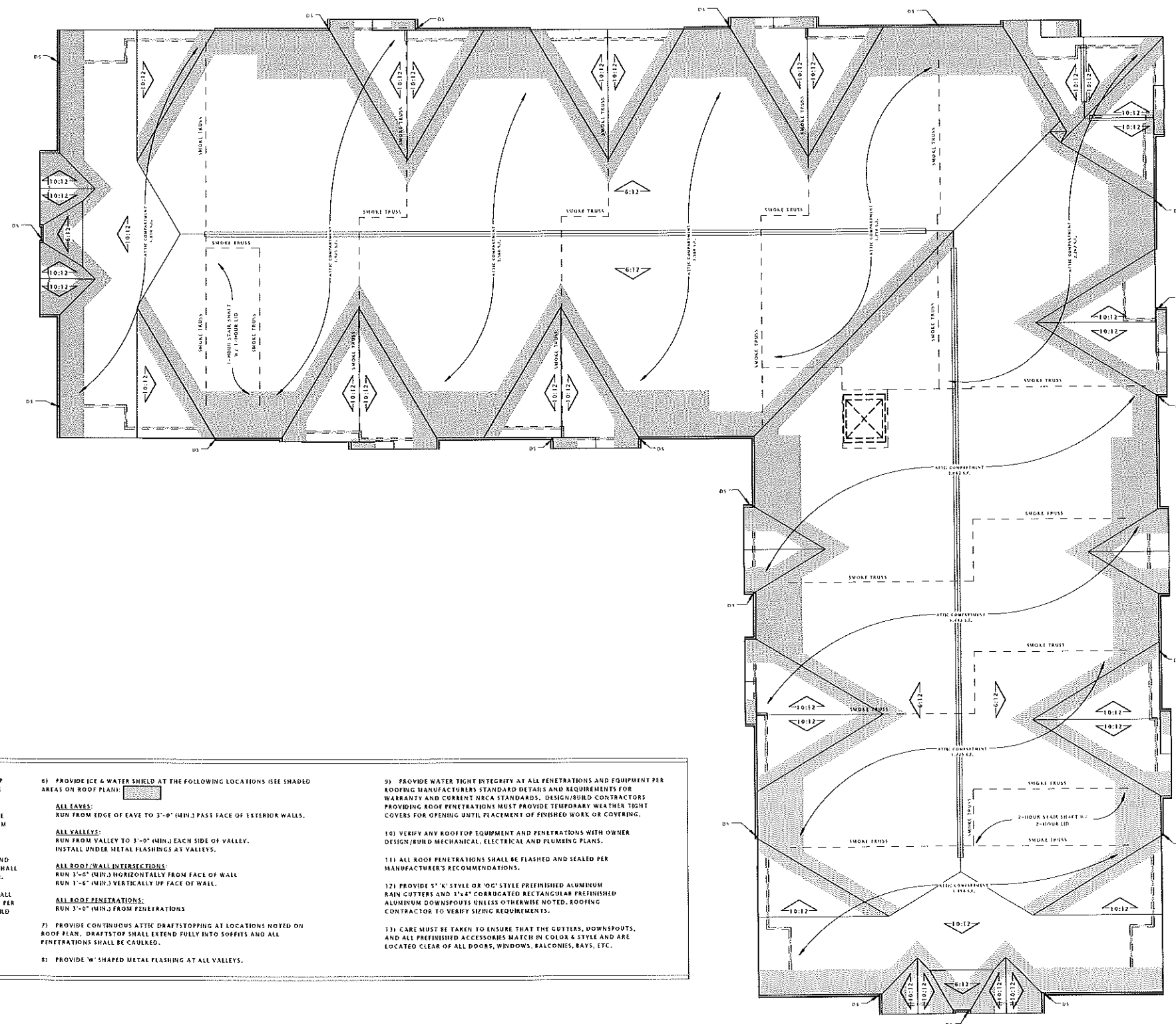
Mark	Description	Date

SHEET TITLE

BUILDING 'B1' ROOF
PLAN

SHEET NUMBER

A109-B1



ROOF NOTES

- 1) ROOF SHALL BE ROOF ASSEMBLY - W1 UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE PITCHED AS INDICATED ON ROOF PLAN. SEE ROOF ASSEMBLY SHEET FOR DETAILED INFORMATION.
- 2) AT CANOPY ROOF AREAS: PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF SUBSTRATE TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS/SCUPPER OPENINGS.
- 3) ROOF DRAINS/SCUPPERS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN/BUILD CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- 4) RIDGE VENTS SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE INTAKE & EXHAUST ROOF VENTS TO PROVIDE 1 S.F. OF VENT AREA PER 300 S.F. OF ATTIC AREA (PER ATTIC COMPARTMENT). OWNER'S DESIGN/BUILD MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
- 5) OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
- 6) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADED AREAS ON ROOF PLAN):
 ALL EAVES:
 RUN FROM EDGE OF EAVE TO 3'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.
 ALL VALLEYS:
 RUN FROM VALLEY TO 3'-0" (MIN.) EACH SIDE OF VALLEY.
 INSTALL UNDER METAL FLASHINGS AT VALLEYS.
 ALL ROOF/WALL INTERSECTIONS:
 RUN 3'-0" (MIN.) HORIZONTALLY FROM FACE OF WALL
 RUN 3'-0" (MIN.) VERTICALLY UP FACE OF WALL.
 ALL ROOF PENETRATIONS:
 RUN 3'-0" (MIN.) FROM PENETRATIONS
- 7) PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFITS AND ALL PENETRATIONS SHALL BE CAULKED.
- 8) PROVIDE 'W' SHAPED METAL FLASHING AT ALL VALLEYS.
- 9) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT NRCA STANDARDS. DESIGN/BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
- 10) VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/BUILD MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- 11) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 12) PROVIDE 1" X 1" STYLE OR 10" STYLE PREFINISHED ALUMINUM RAIN CUTTERS AND 3/4" CORUGATED RECTANGULAR PREFINISHED ALUMINUM DOWNSPOUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SIZING REQUIREMENTS.
- 13) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS, AND ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.

SCALE: 3/32" = 1'-0"
DRAWING TO BE FULLY SPHERIALIZED PER 2009 IBC, UFGA 12, AND UFGA 11B.

17 BUILDING 'B1' - ROOF PLAN
3/32" = 1'-0"





6 SOUTH ELEVATION - B1
1/8" = 1'-0"



16 NORTH ELEVATION - B1
1/8" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2117 CROSSROADS DRIVE, SUITE 2100
MADISON, WISCONSIN 53718
608.241.8300

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

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DEVELOPMENT, INC.

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Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
'B1' BUILDING

SHEET NUMBER

A200-B1



⑥ EAST ELEVATION - B1
1/8" = 1'-0"



①⑥ WEST ELEVATION - B1
1/8" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2418 CROSSROADS DRIVE, SUITE 400
MILWAUKEE, WISCONSIN 53218
262.231.2500

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
'B1' BUILDING

SHEET NUMBER

A201-B1



ELAN RESIDENTIAL DEVELOPMENT

Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN

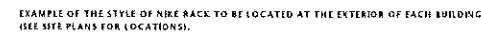
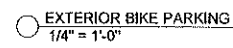
BUILDING: B2

PROGRESS DOCUMENTS

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JLA PROJECT NUMBER: 14-0515

APRIL 21, 2015



○ EXTERIOR BIKE RACK STYLE
1/8" = 1'-0"



JOSEPH LEE ASSOCIATES
2335 CROSSROADS DRIVE SUITE 2500
MADISON, WISCONSIN 53718
(608) 261-2000

JLA PROJECT NUMBER: 14-0515



ELAN RESIDENTIAL
DEVELOPMENT

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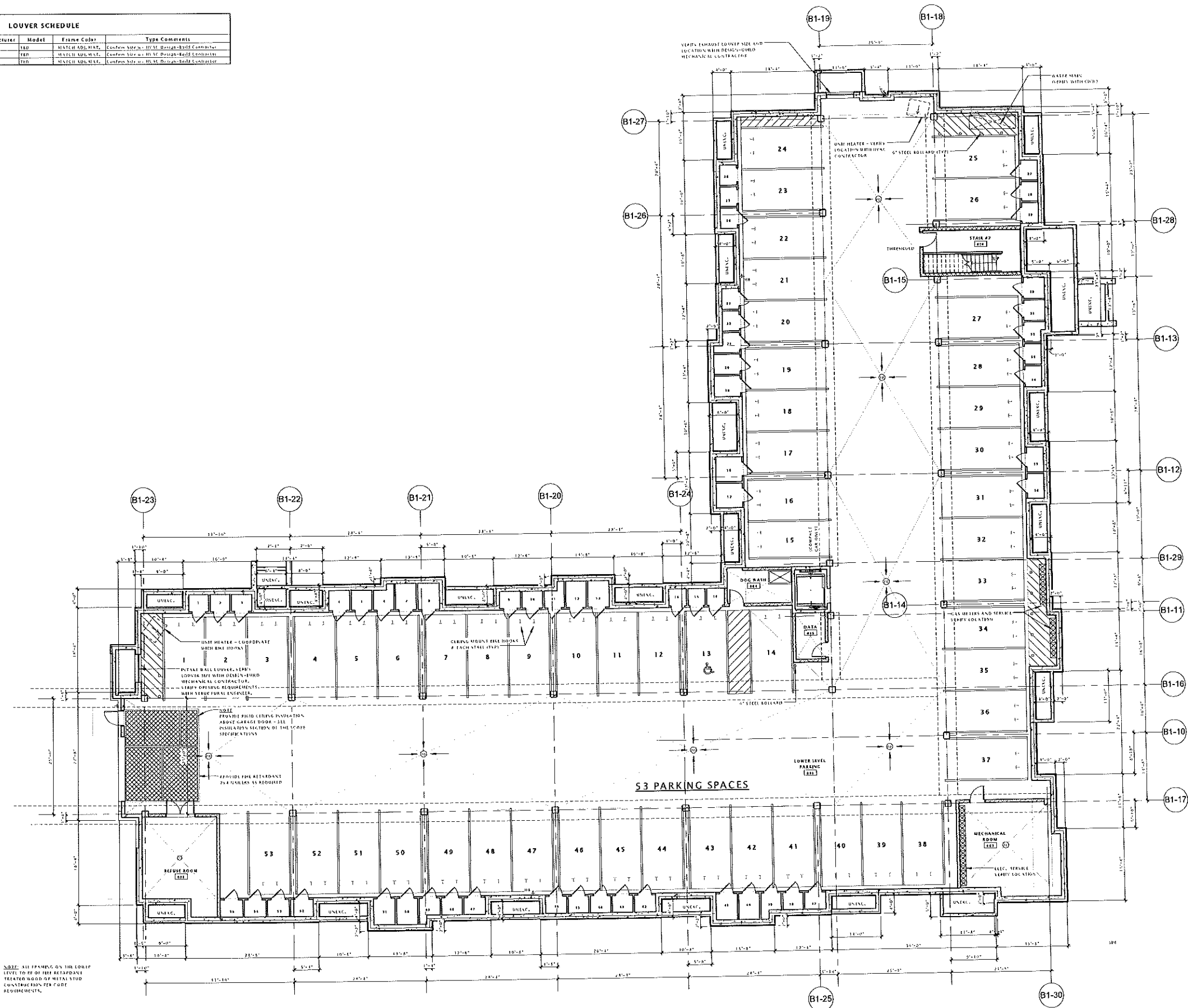
REVISION SCHEDULE		
Mark	Description	Date

ARCHITECTURAL SITE
PLAN - BUILDING 'B2'

ASP101-B2



LOUVER SCHEDULE						
Mark	Width	Height	Description	Manufacturer	Model	Type Comments
L2	2'-0"	4'-0"	INSL Louver	TBD	TBD	MATCH ADD. MFG. Confirm size w/ HVAC Design-Build Contractor
L4	4'-0"	4'-0"	INSL Louver	TBD	TBD	MATCH ADD. MFG. Confirm size w/ HVAC Design-Build Contractor
L6	6'-0"	4'-0"	INSL Louver	TBD	TBD	MATCH ADD. MFG. Confirm size w/ HVAC Design-Build Contractor



17 BUILDING 'B2' - LOWER LEVEL PLAN
3/32" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2815 CROSSBOW DRIVE, SUITE 200
MILWAUKEE, WISCONSIN 53218
TEL: 414-441-4400

JLA PROJECT NUMBER: 14-0515



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REVISION SCHEDULE

Mark	Description	Date
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SHEET TITLE

BUILDING 'B2' LOWER LEVEL PLAN

SHEET NUMBER

A100-B2

WINDOW SCHEDULE										
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS	U FACTOR	SHGC	TYPE COMMENTS
A	4'-0"	6'-0"	Small Single Hung - Single	Phibex Windows and Doors	100W 6-10H	WHITE		0.25	0.25	7.0 SF Unit Pattern As Shown
B	4'-0"	6'-0"	Small Double Hung - Single	Phibex Windows and Doors	100WB 6-10H	WHITE		0.25	0.25	7.0 SF Unit Pattern As Shown
C	4'-0"	6'-0"	Small Single Hung - Twin	Phibex Windows and Doors	200W 6-10H	WHITE		0.25	0.25	14.0 SF Unit Pattern As Shown
D	4'-0"	6'-0"	Small Double Hung - Twin	Phibex Windows and Doors	200WB 6-10H	WHITE		0.25	0.25	14.0 SF Unit Pattern As Shown
E	4'-0"	6'-0"	Small Single Hung - Triple	Phibex Windows and Doors	300W 6-10H	WHITE		0.25	0.25	21.0 SF Unit Pattern As Shown
F	4'-0"	6'-0"	Small Double Hung - Triple	Phibex Windows and Doors	300WB 6-10H	WHITE		0.25	0.25	21.0 SF Unit Pattern As Shown
G	4'-0"	6'-0"	Small Single Hung - Quad	Phibex Windows and Doors	400W 6-10H	WHITE		0.25	0.25	28.0 SF Unit Pattern As Shown
H	4'-0"	6'-0"	Small Double Hung - Quad	Phibex Windows and Doors	400WB 6-10H	WHITE		0.25	0.25	28.0 SF Unit Pattern As Shown

LOUVER SCHEDULE							
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L1	2'-0"	4'-0"	WALL Louver	TRD	TRD	WALL ADJ. HAT	Custom Size w/ HAT Design-Build Contractor
L2	4'-0"	6'-0"	WALL Louver	TRD	TRD	WALL ADJ. HAT	Custom Size w/ HAT Design-Build Contractor
L3	4'-0"	6'-0"	WALL Louver	TRD	TRD	WALL ADJ. HAT	Custom Size w/ HAT Design-Build Contractor
L6	6'-0"	6'-0"	WALL Louver	TRD	TRD	WALL ADJ. HAT	Custom Size w/ HAT Design-Build Contractor

BUILDING 'B2' - THIRD FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
120	PLAN C2	556 SF
121	PLAN C2.1M	556 SF
122	PLAN B2	556 SF
123	PLAN B2.1M	556 SF
124	PLAN B1	556 SF
125	PLAN B1.1M	556 SF
126	PLAN B1.2	556 SF
127	PLAN C1.1	556 SF
128	PLAN B1.1M	556 SF
129	PLAN B1.1	556 SF
130	PLAN B1.1	556 SF
131	PLAN B1.1	556 SF
132	PLAN B1.1	556 SF
133	PLAN B1.1	556 SF
134	PLAN B1.1	556 SF
135	PLAN B1.1	556 SF
136	PLAN B1.1	556 SF
137	PLAN B1.1	556 SF
138	PLAN B1.1	556 SF
139	PLAN B1.1	556 SF
140	PLAN B1.1	556 SF
141	PLAN B1.1	556 SF

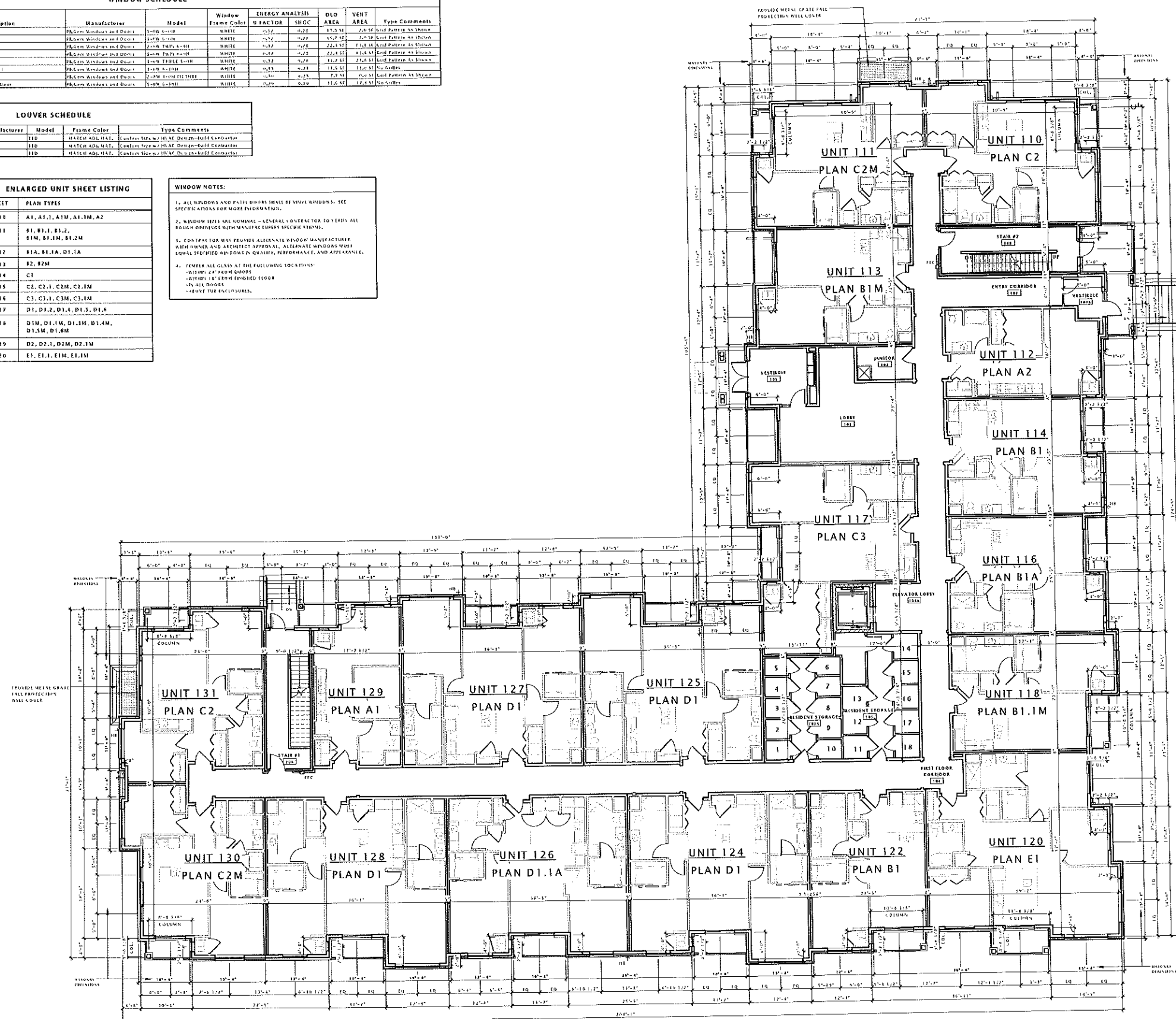
ENLARGED UNIT SHEET LISTING		
SHEET	PLAN TYPE	AREA
A410	A1, A1.1, A1.2M, A1.3M, A2	
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M	
A412	B1A, B1.1A, D1.1A	
A413	B2, B2M	
A414	C1	
A415	C2, C2.1, C2M, C2.1M	
A416	C3, C3.1, C3M, C3.1M	
A417	D1, D1.1, D1.2, D1.3, D1.4	
A418	D1M, D1.1M, D1.1M, D1.4M, D1.5M, D1.6M	
A419	D2, D2.1, D2M, D2.1M	
A420	E1, E1.1, E1M, E1.1M	

WINDOW NOTES:

- ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFICATIONS FOR MORE INFORMATION.
- WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST EQUAL SPECIFIED WINDOWS IN QUALITY, PERFORMANCE, AND APPEARANCE.

A. CENTER GLASS AT THE FOLLOWING LOCATIONS:

- WITHIN 24" FROM DOORS
- WITHIN 18" FROM FINISHED FLOOR
- IN ALL DOORS
- ABOUT THE ENCLOSURES.



11 BUILDING 'B1' - FIRST FLOOR PLAN
3/32" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

2518 CROSSROADS DRIVE, SUITE 2100
MADISON, WISCONSIN 53713
608.231.0509

JLA PROJECT NUMBER: 14-0515

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SPECIFIC IMPLEMENTATION PLAN

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Mark	Description	Date

SHEET TITLE

BUILDING 'B2' FIRST
FLOOR PLAN

SHEET NUMBER

A101-B2

WINDOW SCHEDULE										
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS U FACTOR	SHGC	DIG AREA	VENT AREA
A	4'-0"	6'-0"	Unit Window - Single	Phibon Windows and Doors	1000-5000	WHITE	0.27	0.25	15.7 SF	2.0 SF
B	4'-0"	6'-0"	Unit Window - Single	Phibon Windows and Doors	1000-5000	WHITE	0.27	0.25	15.7 SF	2.0 SF
C	4'-0"	6'-0"	Unit Window - Single	Phibon Windows and Doors	1000-5000	WHITE	0.27	0.25	15.7 SF	2.0 SF
D	4'-0"	6'-0"	Unit Window - Single	Phibon Windows and Doors	1000-5000	WHITE	0.27	0.25	15.7 SF	2.0 SF
E	4'-0"	6'-0"	Unit Window - Single	Phibon Windows and Doors	1000-5000	WHITE	0.27	0.25	15.7 SF	2.0 SF
F	4'-0"	6'-0"	Unit Window - Single	Phibon Windows and Doors	1000-5000	WHITE	0.27	0.25	15.7 SF	2.0 SF
G	4'-0"	6'-0"	Unit Window - Single	Phibon Windows and Doors	1000-5000	WHITE	0.27	0.25	15.7 SF	2.0 SF
H	4'-0"	6'-0"	Unit Window - Single	Phibon Windows and Doors	1000-5000	WHITE	0.27	0.25	15.7 SF	2.0 SF
I	4'-0"	6'-0"	Unit Window - Single	Phibon Windows and Doors	1000-5000	WHITE	0.27	0.25	15.7 SF	2.0 SF
J	4'-0"	6'-0"	Unit Window - Single	Phibon Windows and Doors	1000-5000	WHITE	0.27	0.25	15.7 SF	2.0 SF

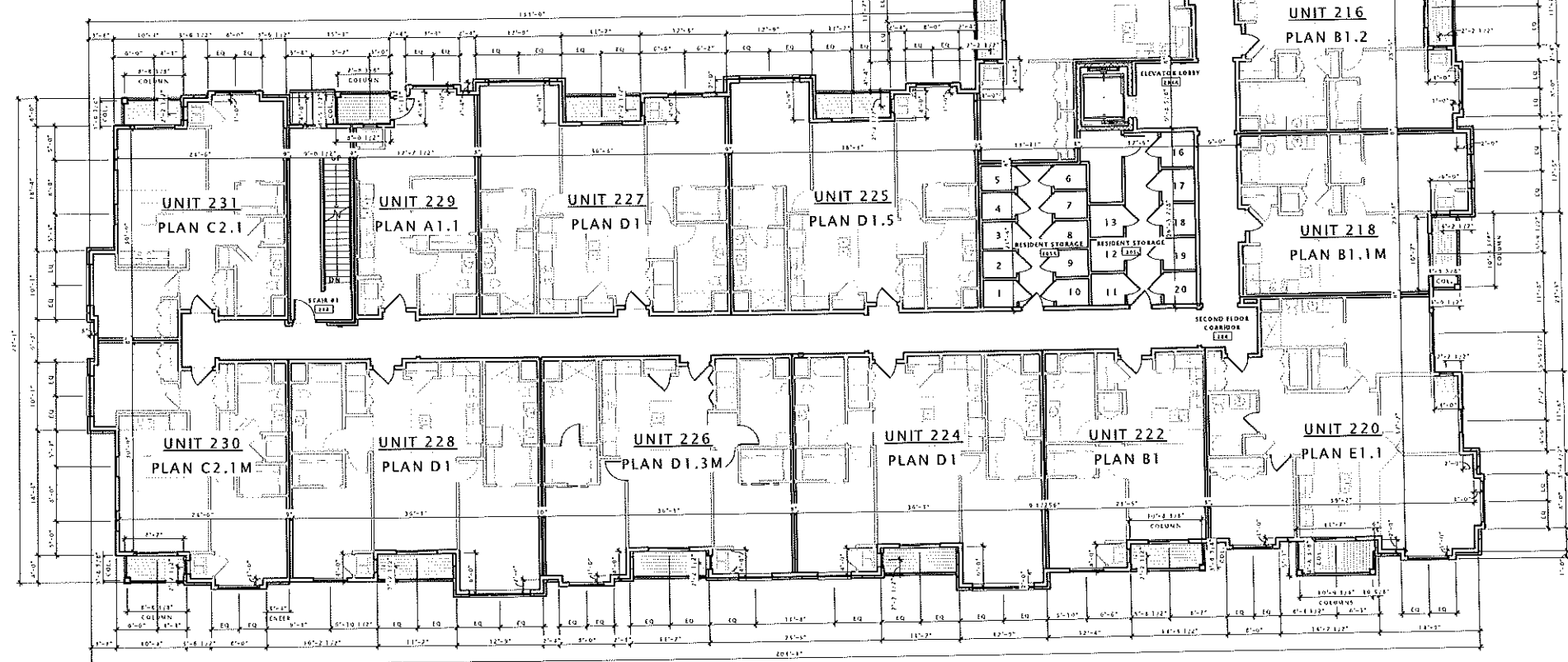
LOUVER SCHEDULE						
Mark	Width	Height	Description	Manufacturer	Model	Type Comments
L1	4'-0"	6'-0"	HVAC Louver	TRD	T10	Match Add, Match, Custom Size w/ HVAC Design-Build Contractor
L2	4'-0"	6'-0"	HVAC Louver	TRD	T10	Match Add, Match, Custom Size w/ HVAC Design-Build Contractor
L3	4'-0"	6'-0"	HVAC Louver	TRD	T10	Match Add, Match, Custom Size w/ HVAC Design-Build Contractor

BUILDING 'B2' - THIRD FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
211	PLAN C2.1M	224.31
212	PLAN C2.1	224.31
213	PLAN B1.2M	224.31
214	PLAN B1	224.31
215	PLAN B1.1	224.31
216	PLAN B1.2	224.31
217	PLAN C3	224.31
218	PLAN B1.1M	224.31
219	PLAN C1.1	224.31
220	PLAN B1.1	224.31
221	PLAN B1.1	224.31
222	PLAN B1.1	224.31
223	PLAN B1.1	224.31
224	PLAN B1.1	224.31
225	PLAN B1.1	224.31
226	PLAN B1.1	224.31
227	PLAN B1.1	224.31
228	PLAN B1.1	224.31
229	PLAN B1.1	224.31
230	PLAN B1.1	224.31
231	PLAN B1.1	224.31

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.2, D1.3, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:

1. ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS, SEE SPECIFICATIONS FOR MORE INFORMATION.
2. WINDOW SIZES ARE MINIMUMS - GENERAL CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH MINIMUMS TO MEET ALL SPECIFICATIONS.
3. CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOW MUST EQUAL SPECIFIED WINDOW'S QUALITY, PERFORMANCE, AND APPEARANCE.
4. PROVIDE ALL GLASS AT THE FOLLOWING LOCATIONS:
 - WITHIN 2' FROM DOORS
 - WITHIN 18" FROM FINISHED FLOOR
 - IN ALL DOORS
 - ABOUT FIRE ENCLOSURES



NOTES: WORKING TO BE FULLY SPECIFIED PER 2004 IBC, ASHRAE 90.1, AND ASHRAE 155.

JLA

JOSEPH LEE ASSOCIATES
2415 CRESS STREET, SUITE 2100
HOUSTON, TEXAS 77002-2510
TEL: 713.251.0500
FAX: 713.251.0501

JLA PROJECT NUMBER: 14-0515

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN RESIDENTIAL DEVELOPMENT

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REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE
BUILDING 'B2' SECOND FLOOR PLAN

SHEET NUMBER
A102-B2

17 BUILDING 'B1' - SECOND FLOOR PLAN
3/32" = 1'-0"

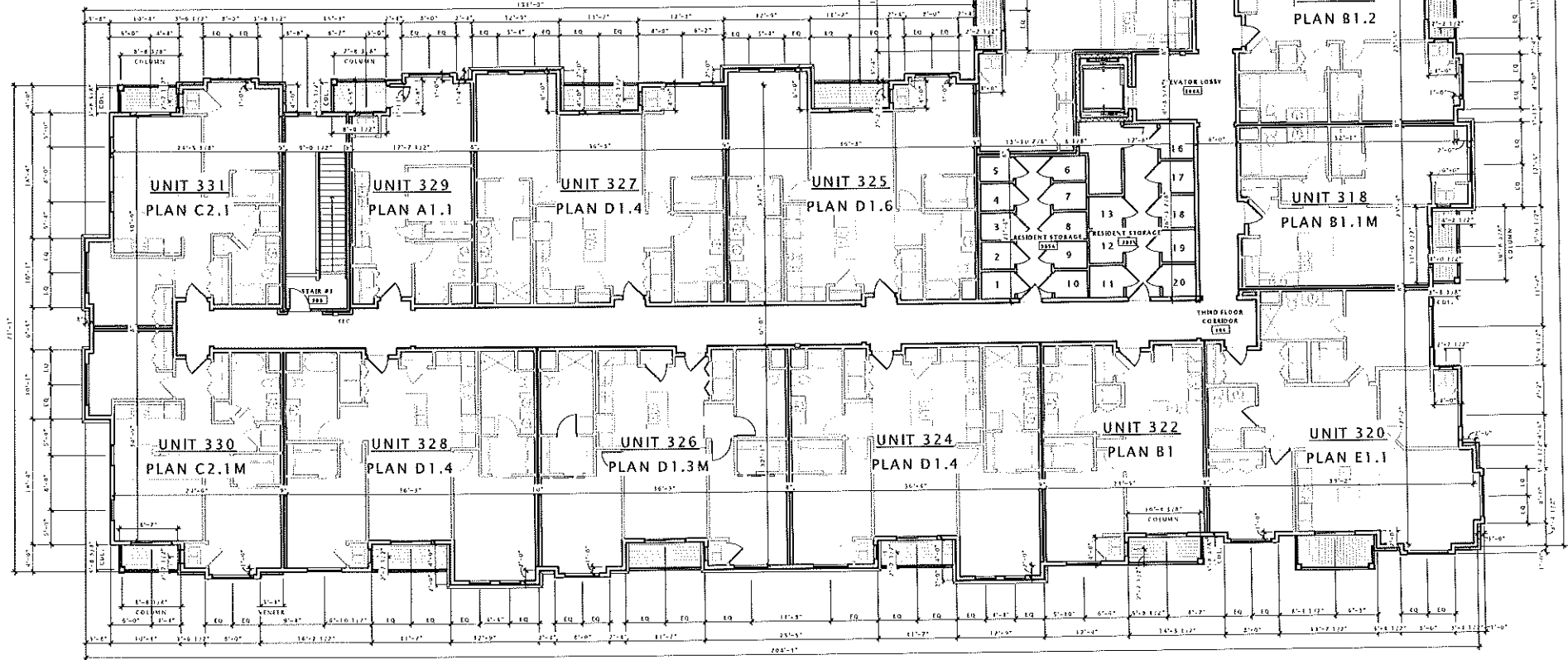
WINDOW SCHEDULE										
Mark	Width	Height	Description	Manufacturer	Model	Window Frame Color	ENERGY ANALYSIS	DLO AREA	VENT AREA	Type Comments
A	4'-0"	6'-0"	Fixed Single Hung - Single	Phlox Windows and Doors	3000 8-00	WHITE	U-1.2 SFG 0.25	13.0 SF	7.5 SF	See Section A1.100
B	4'-0"	6'-0"	Fixed Single Hung - Single	Phlox Windows and Doors	3000 8-00	WHITE	U-1.2 SFG 0.25	13.0 SF	7.5 SF	See Section A1.100
C	4'-0"	6'-0"	Fixed Single Hung - Twin	Phlox Windows and Doors	3000 16-00	WHITE	U-1.2 SFG 0.25	26.0 SF	15.0 SF	See Section A1.100
D	4'-0"	6'-0"	Fixed Single Hung - Twin	Phlox Windows and Doors	3000 16-00	WHITE	U-1.2 SFG 0.25	26.0 SF	15.0 SF	See Section A1.100
E	4'-0"	6'-0"	Fixed Single Hung - Triple	Phlox Windows and Doors	3000 24-00	WHITE	U-1.2 SFG 0.25	39.0 SF	22.5 SF	See Section A1.100
F	4'-0"	6'-0"	Fixed Single Hung - Triple	Phlox Windows and Doors	3000 24-00	WHITE	U-1.2 SFG 0.25	39.0 SF	22.5 SF	See Section A1.100
G	4'-0"	6'-0"	Fixed Single Hung - Triple	Phlox Windows and Doors	3000 24-00	WHITE	U-1.2 SFG 0.25	39.0 SF	22.5 SF	See Section A1.100
H	4'-0"	6'-0"	Fixed Single Hung - Triple	Phlox Windows and Doors	3000 24-00	WHITE	U-1.2 SFG 0.25	39.0 SF	22.5 SF	See Section A1.100

LOUVER SCHEDULE							
Mark	Width	Height	Description	Manufacturer	Model	Frame Color	Type Comments
L1	4'-0"	6'-0"	Fixed Louver	TRD	FED	MATCH ADL MTL	Custom Size w/ HVAC Design-Build Contractor
L2	4'-0"	6'-0"	Fixed Louver	TRD	FED	MATCH ADL MTL	Custom Size w/ HVAC Design-Build Contractor
L3	4'-0"	6'-0"	Fixed Louver	TRD	FED	MATCH ADL MTL	Custom Size w/ HVAC Design-Build Contractor

BUILDING 'B2' - THIRD FLOOR UNIT SCHEDULE		
UNIT NO.	PLAN TYPE	AREA
330	PLAN C2.1	358 SF
331	PLAN C2.1M	458 SF
332	PLAN B2	323 SF
333	PLAN B1.2M	737 SF
334	PLAN B1	729 SF
335	PLAN B1.1	752 SF
336	PLAN B1.2	727 SF
337	PLAN C1.1	272 SF
338	PLAN B1.1M	752 SF
339	PLAN B1.1	1131 SF
340	PLAN B1	729 SF
341	PLAN D1.1	1129 SF
342	PLAN D1.1	1129 SF
343	PLAN D1.1	1129 SF
344	PLAN D1.1	1129 SF
345	PLAN D1.1	1129 SF
346	PLAN D1.1	1129 SF
347	PLAN D1.1	1129 SF
348	PLAN D1.1	1129 SF
349	PLAN D1.1	1129 SF
350	PLAN D1.1	1129 SF
351	PLAN D1.1	1129 SF

ENLARGED UNIT SHEET LISTING	
SHEET	PLAN TYPES
A410	A1, A1.1, A1M, A1.1M, A2
A411	B1, B1.1, B1.2, B1M, B1.1M, B1.2M
A412	B1A, B1.1A, D1.1A
A413	B2, B2M
A414	C1
A415	C2, C2.1, C2M, C2.1M
A416	C3, C3.1, C3M, C3.1M
A417	D1, D1.1, D1.2, D1.4, D1.5, D1.6
A418	D1M, D1.1M, D1.3M, D1.4M, D1.5M, D1.6M
A419	D2, D2.1, D2M, D2.1M
A420	E1, E1.1, E1M, E1.1M

WINDOW NOTES:	
1.	ALL WINDOWS AND PATIO DOORS SHALL BE VINYL WINDOWS. SEE SPECIFIC APPROVAL FOR MORE INFORMATION.
2.	WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL WINDOW OPENINGS WITH MANUFACTURER'S SPECIFICATIONS.
3.	CONTRACTOR MAY PROVIDE ALTERNATE WINDOW MANUFACTURER WITH OWNER AND ARCHITECT APPROVAL. ALTERNATE WINDOWS MUST MEET SPECIFIED WINDOW QUALITY, PERFORMANCE, AND APPEARANCE.
4.	TEMPER GLASS AT THE FOLLOWING LOCATIONS: - WITHIN 24" FRAM DOORS - WITHIN 18" FRAM FINISHED FLOOR - BY ALL DOORS - ABOVE THE ENCLOSURES.



NOTE: BUILDING TO BE FINELY APPROVED FOR 2019 REC, NIPA 13, AD NIPA 13F.

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 21, 2015

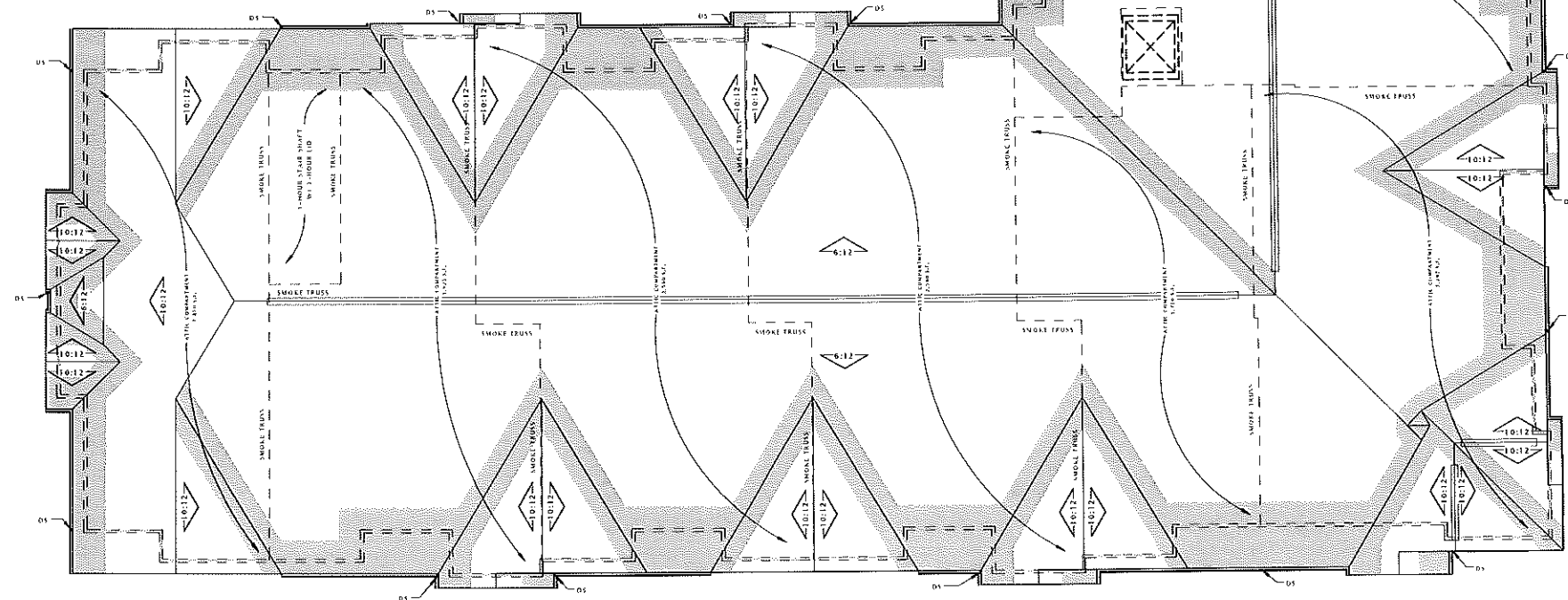
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE
BUILDING 'B2' THIRD FLOOR PLAN

SHEET NUMBER
A103-B2

ROOF NOTES

- 1) ROOF SHALL BE **ROOF ASSEMBLY - W** UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE FITTED AS INDICATED ON ROOF PLAN. SEE ROOF ASSEMBLY SHEET FOR DETAILED INFORMATION.
- 2) AT CANOPY ROOF AREAS: PROVIDE TAPERED INSULATION BOARD WHERE NECESSARY OVER ROOF SUBSTRATE TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAINS/SCUPPERS OPENINGS.
- 3) ROOF DRAINS/SCUPPERS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN/BUILD CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- 4) RIDGE VENTS SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE INTAKE & EXHAUST ROOF VENTS TO PROVIDE 1 S.F. OF VENT AREA PER 300 S.F. OF ATTIC AREA (PER ATTIC COMPARTMENT). OWNERS DESIGN/BUILD MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
- 5) OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
- 6) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADED AREAS ON ROOF PLAN):
ALL EAVES:
 RUN FROM EDGE OF EAVE TO 3'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.
ALL VALLEYS:
 RUN FROM VALLEY TO 3'-0" (MIN.) EACH SIDE OF VALLEY.
 INSTALL UNDER METAL FLASHINGS AT VALLEYS.
ALL ROOF-WALL INTERSECTIONS:
 RUN 3'-0" (MIN.) HORIZONTALLY FROM FACE OF WALL
 RUN 1'-6" (MIN.) VERTICALLY UP FACE OF WALL.
ALL ROOF PENETRATIONS:
 RUN 3'-0" (MIN.) FROM PENETRATIONS
- 7) PROVIDE CONTINUOUS ATTIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFTSTOP SHALL EXTEND FULLY INTO SOFFITS AND ALL PENETRATIONS SHALL BE CAULKED.
- 8) PROVIDE "W" SHAPED METAL FLASHING AT ALL VALLEYS.
- 9) PROVIDE WATER TIGHT INTEGRITY AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND CURRENT IRCA STANDARDS. DESIGN/BUILD CONTRACTORS PROVIDING ROOF PENETRATIONS MUST PROVIDE TEMPORARY WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED WORK OR COVERING.
- 10) VERIFY ANY ROOFTOP EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/BUILD MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- 11) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 12) PROVIDE 5" X STYLE OR "OG" STYLE PREFINISHED ALUMINUM RAIN GUTTERS AND 3/4" CORRUGATED RECTANGULAR PREFINISHED ALUMINUM DOWNSPOUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SIZING REQUIREMENTS.
- 13) CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPOUTS, AND ALL PREFINISHED ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.



17 BUILDING 'B2' - ROOF PLAN
3/32" = 1'-0"

NOTE: FUNDING TO BE FULLY SPECIFIED PER 7005 IBC, 7005.13, 7005.13.1, 7005.13.2, 7005.13.3, 7005.13.4, 7005.13.5, 7005.13.6, 7005.13.7, 7005.13.8, 7005.13.9, 7005.13.10, 7005.13.11, 7005.13.12, 7005.13.13, 7005.13.14, 7005.13.15, 7005.13.16, 7005.13.17, 7005.13.18, 7005.13.19, 7005.13.20, 7005.13.21, 7005.13.22, 7005.13.23, 7005.13.24, 7005.13.25, 7005.13.26, 7005.13.27, 7005.13.28, 7005.13.29, 7005.13.30, 7005.13.31, 7005.13.32, 7005.13.33, 7005.13.34, 7005.13.35, 7005.13.36, 7005.13.37, 7005.13.38, 7005.13.39, 7005.13.40, 7005.13.41, 7005.13.42, 7005.13.43, 7005.13.44, 7005.13.45, 7005.13.46, 7005.13.47, 7005.13.48, 7005.13.49, 7005.13.50, 7005.13.51, 7005.13.52, 7005.13.53, 7005.13.54, 7005.13.55, 7005.13.56, 7005.13.57, 7005.13.58, 7005.13.59, 7005.13.60, 7005.13.61, 7005.13.62, 7005.13.63, 7005.13.64, 7005.13.65, 7005.13.66, 7005.13.67, 7005.13.68, 7005.13.69, 7005.13.70, 7005.13.71, 7005.13.72, 7005.13.73, 7005.13.74, 7005.13.75, 7005.13.76, 7005.13.77, 7005.13.78, 7005.13.79, 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⑥ SOUTH ELEVATION - B2
1/8" = 1'-0"



①⑥ NORTH ELEVATION - B2
1/8" = 1'-0"

JLA
ARCHITECTS & ENGINEERS

JOSEPH LEE ASSOCIATES
210 CROSSROADS DRIVE, SUITE 200
MADISON, WISCONSIN 53718
608.261.4500

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL
ESTATE
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL
DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS
'B2' BUILDING

SHEET NUMBER

A200-B2



⑥ EAST ELEVATION - B2
1/8" = 1'-0"



⑩ WEST ELEVATION - B2
1/8" = 1'-0"

JLA
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES
2115 CROSSROADS DRIVE, SUITE 2300
MADISON, WISCONSIN 53718
608.241.5500

JLA PROJECT NUMBER: 14-0515

Fiduciary
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL
ESTATE
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN
apartments

ELAN RESIDENTIAL
DEVELOPMENT

PROGRESS DOCUMENTS

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DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE

Mark	Description	Date

SHEET TITLE

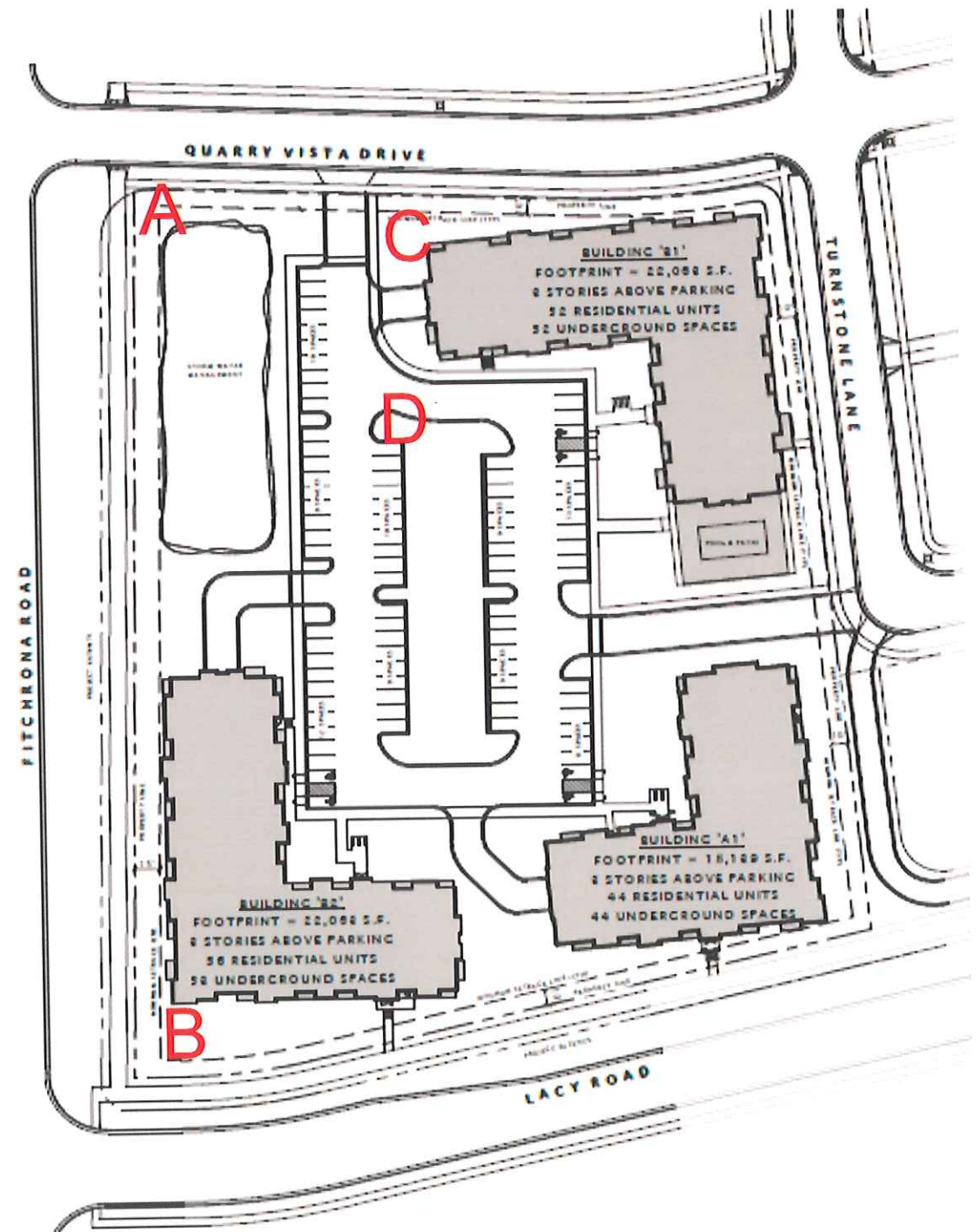
EXTERIOR ELEVATIONS
'B2' BUILDING

SHEET NUMBER

A201-B2

APPENDIX 'D'
SIGN PROGRAM

ELAN
apartments



ELAN APARTMENTS - FITCHBURG, WI

Location : A & B



Customer ELAN APARTMENTS
Street
City FITCHBURG, WI

Date: 4.17.15
Acct. Rep. James Miller

Designer: JEM
Drawing No. Leasing sign41715
Revision 1
Scale:

Client Approval
Signature:
Print:
Date:

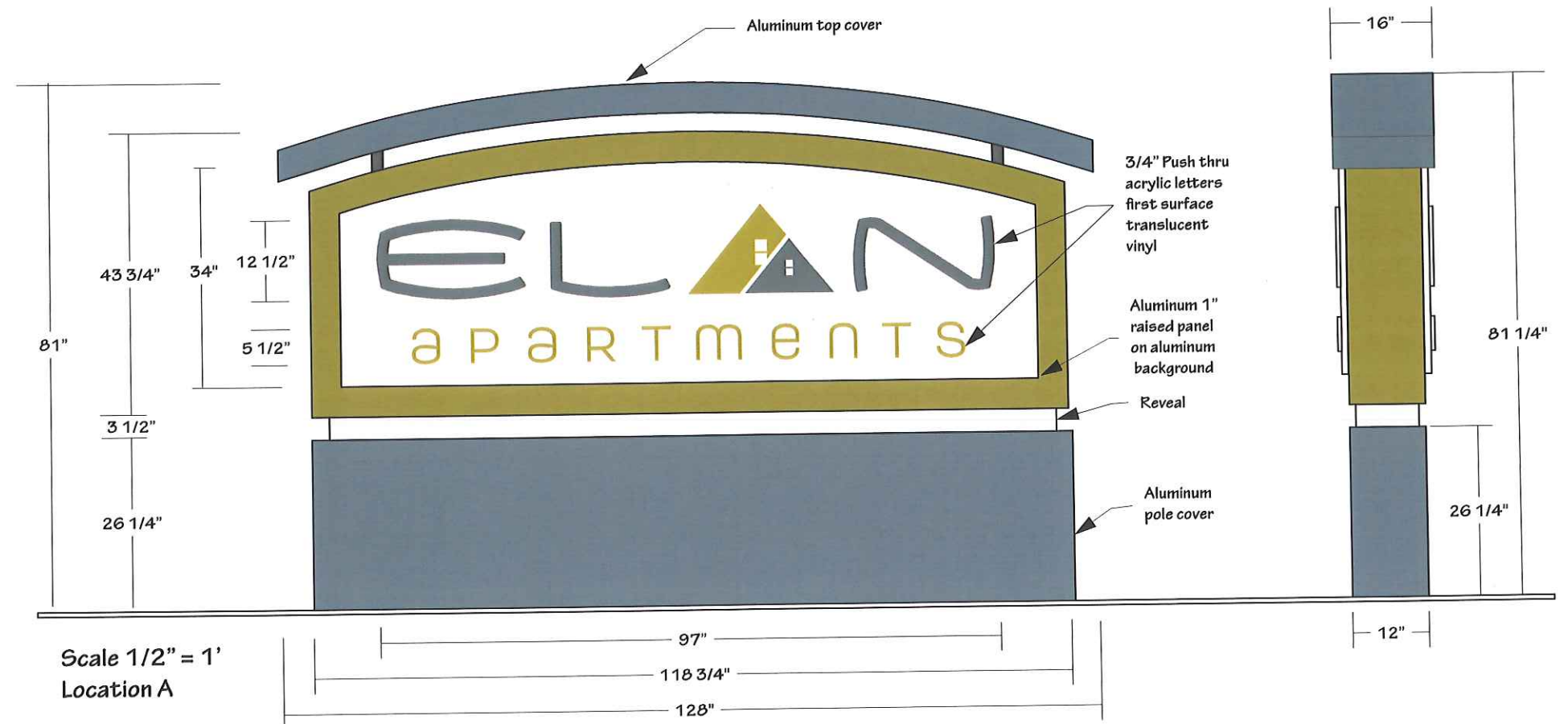
Landlord Approval
Signature:
Print:
Date:

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Elan Apartments



Double Faced Internal illumination with white LED

Sign SqFt = 72

Monument sign

	MAP Satin White
	MAP paint match PMS 582C
	MAP paint match PMS 431C



Customer Fiduciary_Elan
Street City Fitchburg, WI

Date: 4.20.15
Acct. Rep. James Miller

Designer: M Studnicka
Drawing No. Elan Sign A
Revision Scale:

Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

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ELAN APARTMENTS - FITCHBURG, WI

Location: C and D



Sign C (s/f)



Sign D (s/f)

TEMPORARY SIGNS C & D

(2) 1/2" MDO Plywood Now Leasing Signs Rev1

Digital printed on vinyl applied to boards

Installed on 4x4 posts.



Customer ELAN APARTMENTS
Street
City FITCHBURG, WI

Date: 4.17.15
Acct. Rep. James Miller

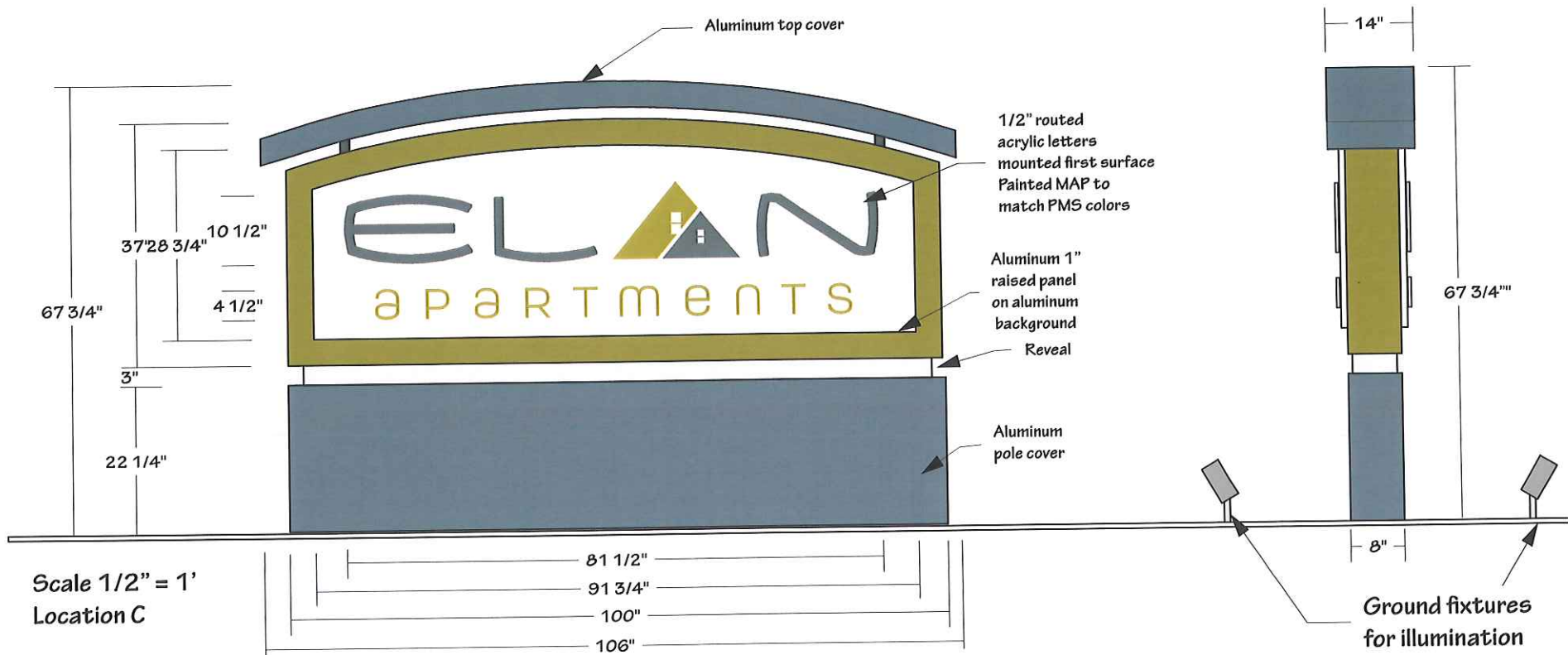
Designer: JEM
Drawing No. Leasing sign41715
Revision 1
Scale:

Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

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Elan Apartments



Monument sign

- MAP Satin White
- MAP paint match PMS 582C
- MAP paint match PMS 431C

Double Faced non-illuminated
Sign SqFt = 49.872



Customer Fiduciary_ Elan
Street City Fitchburg, WI

Date: 4.20.15
Acct. Rep. James Miller

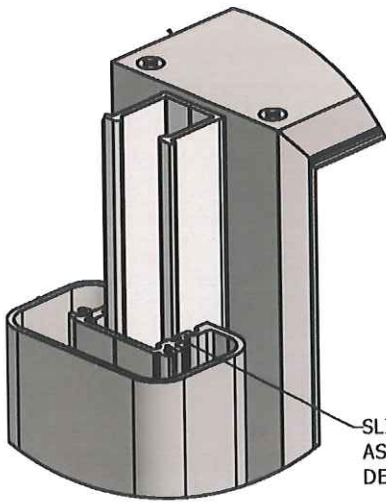
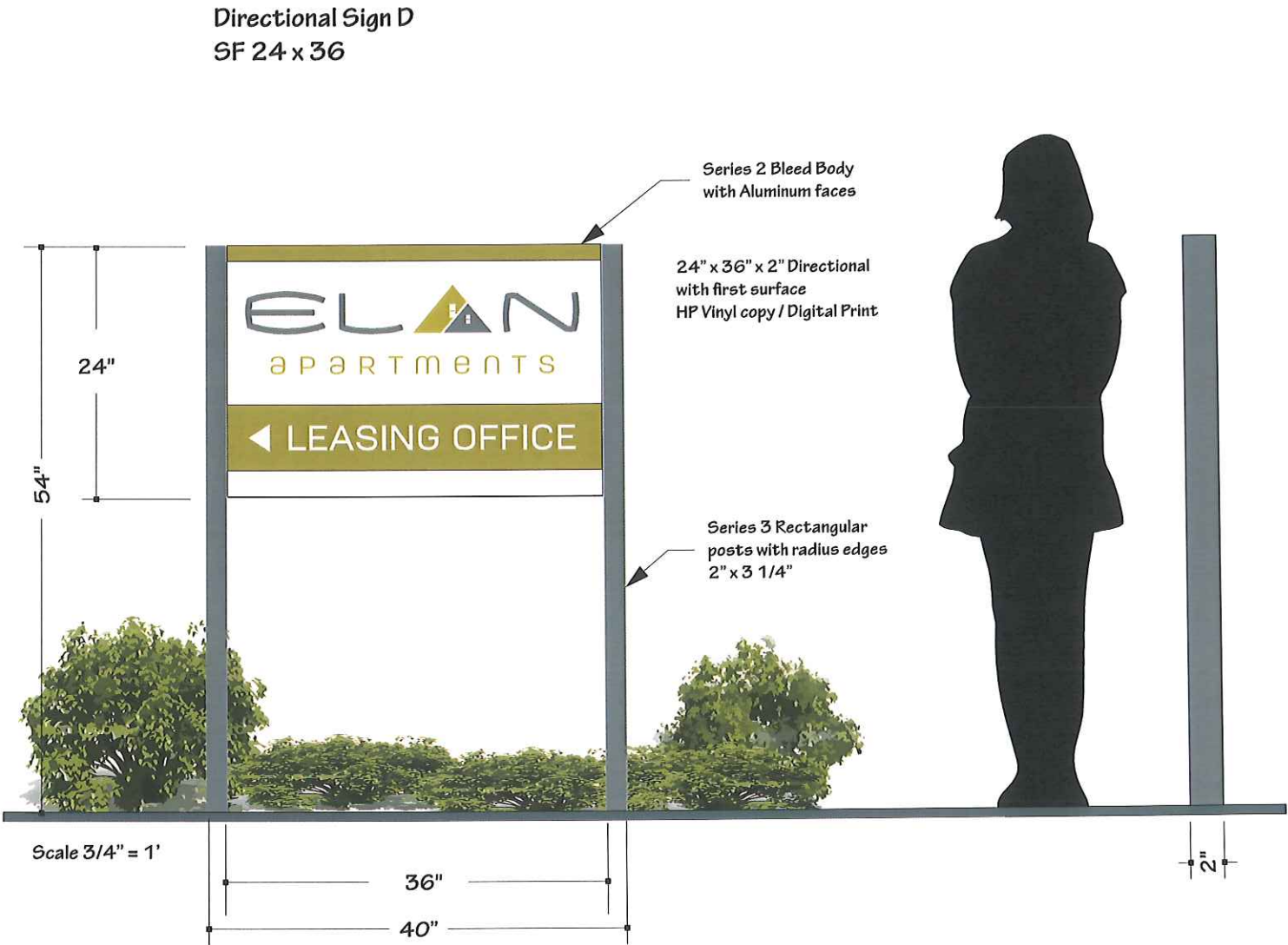
Designer: M Studnicka
Drawing No. Elan Sign C
Revision Scale:

Client Approval
Signature:
Print:
Date:

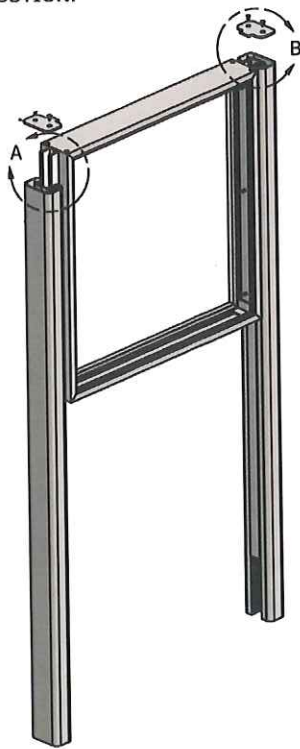
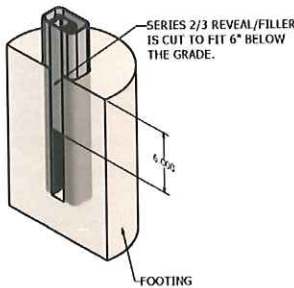
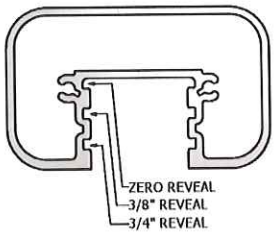
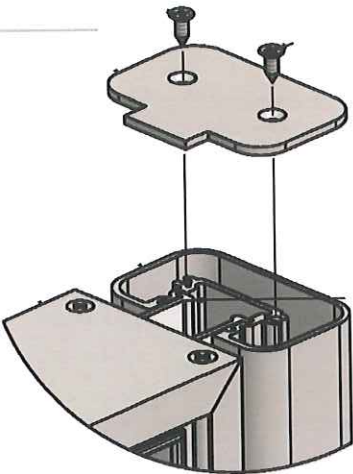
Landlord Approval
Signature:
Print:
Date:

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Elan Apartments / Fitchburg, WI



SLIDE THE BODY ASSEMBLY INTO THE DESIRED REVEAL POSITION.



Customer Elan Apartments
Street
City Fitchburg, WI

Date: 4.14.15
Acct. Rep. James Miller

Designer: M Studnicka
Drawing No. Elan Apart 24x36 C
Revision
Scale:

Client Approval
Signature:
Print:
Date:

Landlord Approval
Signature:
Print:
Date:

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APPENDIX 'E'
NEIGHBORHOOD INPUT INFORMATION

Invite list for 10-14-14 Neighborhood meeting
Fiduciary Real Estate Development - Quarry Vista Multi-Family

BEYLER LIVING TR	6342 PHEASANT LN	VERONA WI 53593
BRAD D ANDERSON	2712 FITCHRONA RD	FITCHBURG WI 53719
COREY L DINTELMAN	2706 FITCHRONA RD	FITCHBURG WI 53711
DANE COUNTY	210 MARTIN LUTHER KING JR BLVD RM 114	MADISON WI 53703-3342
DIANE REMEIKA	1321 MORRISON ST	MADISON WI 53703
EARLE N WILLIAMS & ARISA M WILLIAMS	2687 FITCHRONA RD	MADISON WI 53719
FITCHBURG MINERALS LLC	6295 LACY RD	VERONA WI 53595
FITCHBURG, CITY OF	5520 LACY RD	FITCHBURG WI 53711
GREGORY A LUKAS & DIANE M LUKAS	7330 SOUTHERN OAK PL	MADISON WI 53719
HAMM FAM LAND LLC	6244 OAK HOLLOW DR	OREGON WI 53575
HAMMERSLEY, KEITH E	6291 LACY RD	FITCHBURG WI 53593
JOHN H ELLINGER	2720 FITCHRONA RD	FITCHBURG WI 53719
JOHNSON REV LIVING TR, MARTIN H	6355 PHEASANT LN	VERONA WI 53593
KENNETH E KAEGI & TERESA J KAEGI	6344 GOOSE LAKE DR	VERONA WI 53593
KENNETH O KOBERLE & JUDITH KOBERLE	2669 FITCHRONA RD	MADISON WI 53719
KEVIN N WUNDER & LORIANN S WUNDER	6353 GOOSE LAKE DR	VERONA WI 53593
LARRY J STARCZYNSKI & SHERRY L STARCZYNSKI	2701 FITCHRONA RD	MADISON WI 53719
MADISON METROPOLITAN SEWERAGE DISTRICT	1610 MOORLAND RD	MADISON WI 53713
MAURER TR	2657 FITCHRONA RD	VERONA WI 53593
NATHAN HAMMERSLEY	6310 LACY RD	FITCHBURG WI 53593
NSNK LLC	6291 LACY RD	VERONA WI 53593
PAYNE & DOLAN INC	PO BOX 781	WAUKESHA WI 53187
PRINGLE LIVING TR	2700 FITCHRONA RD	FITCHBURG WI 53719
ROBERT D KOHLENBERG & NORMA K KOHLENBERG	2653 FITCHRONA RD	VERONA WI 53593
SCOTT C LITTLE & SHEILA A LITTLE	6350 PHEASANT LN	VERONA WI 53593
TODD E MEURER & HOLLY M DOWLING	6352 GOOSE LAKE DR	VERONA WI 53593
VIVIAN G KILLERLAIN	6341 PHEASANT LN	VERONA WI 53593
Amanda Arnold, Town of Verona	335 N. Nine Mound Road	Verona, WI 53593-1035



Fiduciary
Real Estate Development, Inc.

October 3, 2014

RE: Proposed 152-unit Apartment Home Project
Hamm Fam Land, LLC lands
Outlot 9 of the plat of Quarry Vista
NW ¼ of the NW ¼ of Section 18

Dear Neighbor,

This letter is in regards to our proposed Apartment Home development located in the City of Fitchburg, near your property at the intersection of Lacy and Fitchrona Roads. Please find the following:

- Location map depicting our property and the surrounding neighborhood
- 11"x17" color rendered Concept Plan of our project which was reviewed by the City Plan Commission at their meeting on September 16, 2014.

We will be submitting our full General Implementation Plan (GIP) for the project by the City's Tuesday October 21, 2014 deadline in order to be on the City Plan Commission meeting agenda on Tuesday, November 18, 2014.

In order to solicit your input on the proposed design, we would like to invite you to an Open House:

Tuesday, October 14, 2014 from 5:30 to 6:30 PM

The open house will be held at the Hammersley Stone Offices, 6291 Lacy Road, Fitchburg, WI 53593

Again, we would appreciate any input you have on our plans and please do not hesitate to contact me (information below) if you have any questions or need additional information.

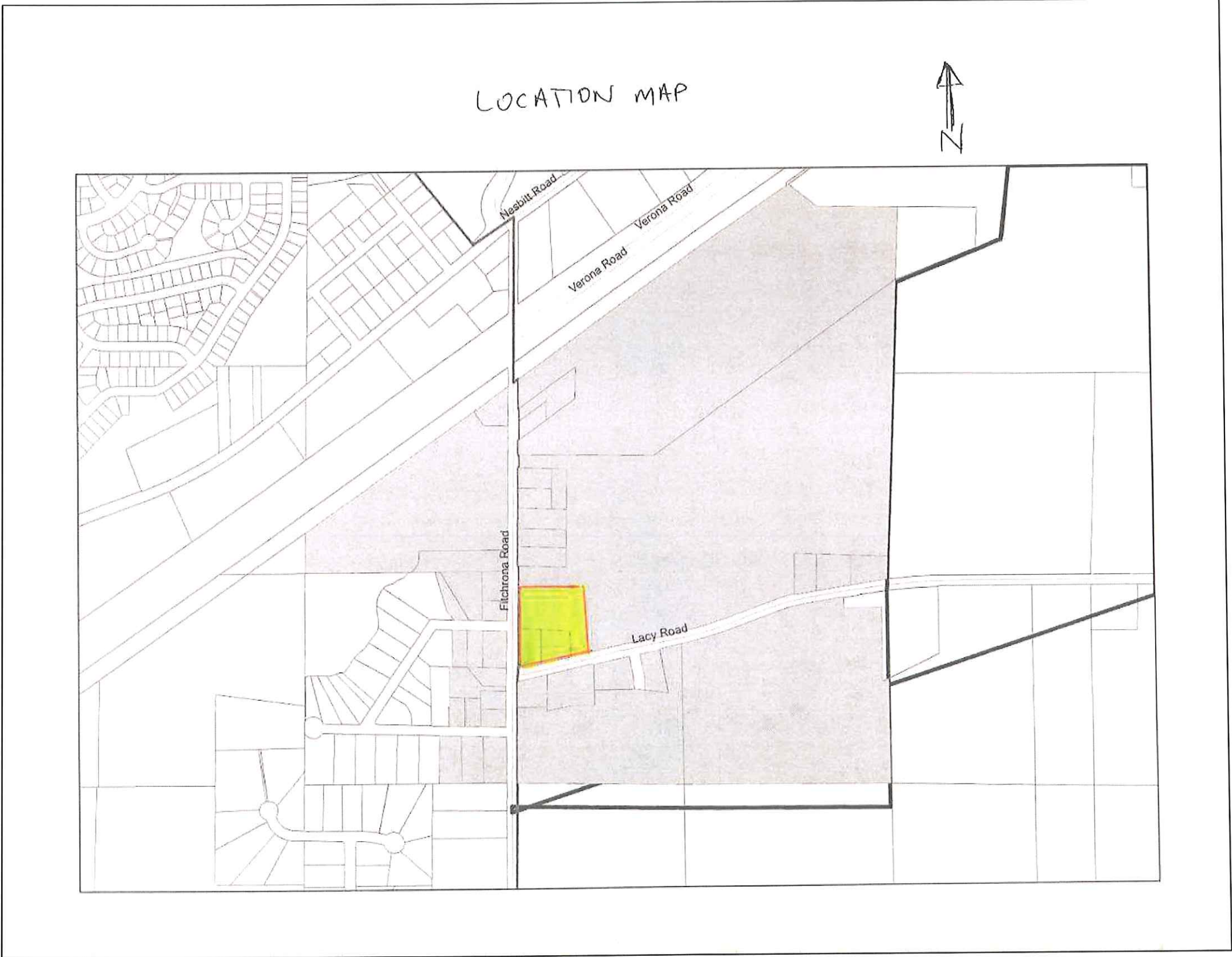
Sincerely,

Fiduciary Real Estate Development, Inc.

William F. Ohm
Project Manager
Direct line 414-274-8212
Email bohmf@fred-inc.com

789 North Water Street • Milwaukee, Wisconsin 53202 • (414) 226-4535 • Facsimile: (414) 226-4549 • www.fred-inc.com

Sample Attachment to Neighborhood Meeting Invitation



Sample Attachment to Neighborhood Meeting Invitation



Grading and Utility Construction
Crushed Stone Supplies

6291 Lacy Rd.
Fitchburg, WI 53593
Phone: (608) 845-7804
Fax: (608) 845-5532

October 14, 2014

Meeting with Neighborhood
Fiduciary Leadstate

Gerald Krause

Gary Aebly

Edgar Koenigsberg

Ellen Maurer

Ken Pfeiffer

Diane Remick

Tom Ripstein

Todd Meurer

Dennis Mounsey
(Payne and Dolan)

Tonto Trail

Tonto Trail

Fitchburg Rd

Fitchburg Rd

Fitchburg Rd

Lacy Rd

Town Plan Comm.

Goose Lake Dr.

6295 Lacy Rd

RECEIVED
5/6/2015



CITY OF FITCHBURG
PLANNING DEPARTMENT
5520 LACY ROAD
FITCHBURG, WI 53711
(608) 270-4200
FAX: (608) 270-4275
EMAIL: planning@city.fitchburg.wi.us

Application: RZ-2057-15 & ADR
Property Location: Proposed Lot 15 Quarry Vista
Review Date: April 27, 2015
Planning Staff Review #1

Planning staff has reviewed your submitted PDD-SIP zoning and ADR requests for proposed Lot 15 Quarry Vista, submitted on 4/21/2015. The following comments are based on this review. Please respond to these comments with a detailed written response along with appropriate revised plans by Noon on Wednesday, May 6, 2015. Further comments or questions may arise as additional review occurs.

- 1.) Has there been any neighborhood contact/input since October 2014? **No.** Have the neighbors seen the building elevations? **Yes, at the meeting in October 2014 when we had the first unveiling of the colored renderings of the building elevations.** You should be aware that there is a public hearing as part of the PDD-SIP rezoning approval process and property owners within 300 feet of the subject property will be directly notified of the request. **This is understood.**
- 2.) Per Ordinance 2014-O-37, approving PDD-GIP zoning for the site, approval and recording of a land division (i.e. final plat) is required prior to SIP issuance. You should be aware that a subdivision improvement agreement is required to be executed prior to the final plat being signed by the city and subsequently recorded. It is my understanding that the developer has been working on this agreement with Public Works.
- 3.) Subdivision Improvement Agreement is required prior to SIP issuance.
- 4.) Necessary public improvements shall be installed and accepted prior to any building construction, unless approvals are granted to allow early start under section 24-14(b)-(e). (An operable public water supply is one necessary condition under section 24.14 of the City's land division ordinance).
- 5.) Is all exterior lighting dark sky or full cut-off? **Full cut-off.**
- 6.) What is the timing of each building? **Please see page 15 of the Implementation Plan.**
- 7.) The plat approval requires that 80 dwelling units on lots within the first final plat of Quarry Vista shall be occupied within six months of the first unit being occupied. When do you anticipate meeting the 80 units occupied? **Fiduciary's absorption at The Vue apartments in Fitchburg has average 30 units per month. We do not expect this to continue, however we feel very confident that 15 units will be absorbed per month (so we will reach 80 in month 6). We anticipate the first delivery of building B1 on May 2016 to be followed by B2 in July 2016.**
- 8.) Is there lighting at the pool? What is the type of lighting? **Exterior lighting for the pool is not anticipated based on the planned hours of usage.**
- 9.) What is the type of composite siding? **Painted LP SmartSide Horizontal and Stucco Panel.**
- 10.) What is the type of split face block? **Block veneer, specified as County Materials Splitface in "Buff".**

- 11.) Please bring a materials color and sample board to the Plan Commission meeting. We plan to bring a material sample board as well as a board with 3D imagery.
- 12.) What is the composition of the infiltration mix? 70%-85% sand and 15%-30% compost, per the DNR standards.
- 13.) What is the anticipated total population at build-out? 225 people.

Emailed Craig
Raddatz 5/12/15

**Elan Apartments - Lot 15 of Quarry Vista Plat
6305? Quarry Vista Drive
Public Works Review #4**

The following comments are based on the Architectural Design Review (ADR 2015) and rezoning request submitted by Craig Raddatz dated April 20, 2015, amended plans dated May 6, 2015 and Applicant Responses dated for Lot 15 in the Quarry Vista Plat. EJE 5-11-15; TF 5-11-15; AB 5-11-15; CH 5-12-15. Additional comments beyond these may be required on future reviews.

General Comments

1. Please confirm the sizing and location of the refuse and recycling containers.
Applicant Response: There is an interior Refuse Room located on the lower level of each building adjacent to the overhead door. The exact type and size of the containers hasn't been determined, but they will be appropriately sized for each multi-family building.
Additional PW Review #4 Comment: Please confirm that both refuse and recycling containers are sized and located properly, not just refuse.
2. The applicant will need to submit a Construction & Demolition Reuse/Recycling (CDRR) Plan to Public Works. CDRR Plans are required both for new construction and for demolition.
Applicant Response: A plan will be prepared and submitted for review.

Transportation Comments

1. The driveway configuration out to Stone Gate Drive/Turnstone Lane still has an impact on the Private Drive access. Please share this concept with Montgomery & Associates and coordinate the driveway design at that location. The curb from the site overlaps the public sidewalk. This access point needs further coordination.
Applicant Response: This item will be reviewed and additional information provided.
2. Consider bike/ped connections from the site to the paths on Lacy Road and Fitchrona Road. A nice connection could be made to the Lacy Road path between buildings A-1 and B-2. Similarly, a connection could be incorporated to the Fitchrona Road path north of Building B-2.
Applicant Response: This item will be reviewed and additional information provided.
3. **Additional PW Review #4 Comment:** The plan sheets show curb and gutter along Lacy Road and Fitchrona Road. At this time, both roads will remain with a rural cross-section. The roads may be improved with curb and gutter in the future but not with the Quarry Vista development.

Water Main and Sanitary Sewer

1. Coordinate final water and sewer lateral locations with the final approved plans for public works construction in Quarry Vista. Final service locations and sizes need to be shown on the plans. The attached plan shows the location of existing sewer laterals to be used to service two of the three proposed buildings.
Applicant Response: See the submitted plan dated May 5, 2015.

**Elan Apartments - Lot 15 of Quarry Vista Plat
6305? Quarry Vista Drive
Public Works Review #4**

2. All water services between the public main up to a private fire hydrant are required to be a minimum of 8" and be installed per the Latest Edition of the City of Fitchburg Standard Specifications for Public Works Construction. Please label and note accordingly.
Applicant Response: See the submitted plan dated May 5, 2015.
3. The following notes need to be included on the site utility plan:
Applicant Response: See the submitted plan dated May 5, 2015.
 - o Safe sample results need to be provided to the Fitchburg Utility prior to pressure testing the private water mains.
 - o It is the contractor's responsibility to verify that the existing valves will hold the pressure test prior to connection. The City is not responsible for any costs incurred due to the contractor not verifying that the existing valve will hold the pressure test prior to connection. If a new valve is required, the applicant will be required to install one at their expense at the point of connection.
4. Public water for the development and the sewer service off Turnstone Lane will not be available for use until public improvements are accepted for the Quarry Vista plat. Building permits may not be issued until public water is available.
Applicant Response: This is understood.
5. Existing sanitary laterals, that will not be reused, will need to be abandoned at the sewer main per the latest edition of the City of Fitchburg Standard Specifications for Public Works Construction. Public Works will need to witness these abandonments. The attached plan shows the location of the existing laterals to be abandoned. Please show and label accordingly.
Applicant Response: The noted plan was not attached to the email we received from Susan, please forward us this plan and we will address the lateral abandonments.
Additional PW Review #4 Comment. The sanitary lateral to be abandoned on Fitchrona Road at the north end of Lot 15 and the 6" sanitary lateral to be abandoned on Lacy Road need to be abandoned at the manhole, not the main. Please correct.
6. All private wells on this site need to be abandoned per DNR requirements. A DNR well abandonment form needs to be submitted to Public Works for each abandoned well.
Applicant Response: Well abandonment forms will be provided as required.
7. Water impact fees will need to be paid prior to release of any building permits. These fees will be included with the permit fee. The 2015 impact fee rate is \$729/Unit.
Applicant Response: This is understood.
8. MMSD fees need to be paid for this lot prior to the release of an early start permit.
Applicant Response: This is understood.

**Elan Apartments - Lot 15 of Quarry Vista Plat
6305? Quarry Vista Drive
Public Works Review #4**

9. The Quarry Vista plat conditions require 80 units to be occupied within six months of occupancy of the first unit/single family home within the Quarry Vista plat.
Applicant Response: This is understood.
10. Early start permits may not be issued for this site until award of the Fitchrona Road Water Main Bid is approved by Fitchburg Council.

Erosion Control and Stormwater Management (ECSWM) Comments

1. A new Erosion Control & Storm Water Management permit application will need to be submitted to the Fitchburg Public Works Department for review and approval (The ECSWM application and information on requirements can be found at: <http://www.fitchburgwi.gov/231/ECSWM-Requirements>).
Applicant Response: The permit application will be submitted the week of May 11, 2015.
2. A stormwater maintenance agreement (recorded at the Dane County Register of Deeds office) will be required for the necessary private stormwater management practices approved by the City (e.g. private storm sewer, rain gardens, etc.). The owner(s) would be eligible for up to a 50% reduction in stormwater utility rates for the proposed stormwater practices. The following link: <http://www.fitchburgwi.gov/230/Credit-Opportunities> provides the application form and details on this program.
Applicant Response: A stormwater maintenance agreement will be submitted following the City's approval of the stormwater management plan.
3. This site is within the Quarry Vista Plat which has stormwater performance standards (e.g. 90% stay-on infiltration volume, peak rate control, water quality, etc.) that need to be met within Lot 15. The designer may contact Fitchburg's Environmental Engineer at 270-4264 or rick.eilertson@fitchburgwi.gov if he/she has any questions on ECSWM performance standards for this site.
Applicant Response: This is understood.
4. Sheet C200 is missing information on the existing storm sewer pipe under Fitchrona Road. There are also several street terrace infiltration areas proposed along Quarry Vista Drive and Turnstone Lane that are missing. A meeting with Montgomery Associates-Resource Solutions and Rick Eilertson would be recommended to help ensure proper coordination of stormwater facility design and construction.
Applicant Response: This item is being coordinated.